

# SITE DEVELOPMENT PLANS

FOR

## TACO BELL

### BETWEEN 1167 & 1207 WASHINGTON ST. HANOVER, MA

SEPTEMBER 26, 2022

SHEET INDEX			
SHEET No.	DESCRIPTION	LATEST REVISED DATE	CONSTRUCTION REVISIONS
1	COVER SHEET	01/16/24	
2	OVERALL LAYOUT PLAN	01/16/24	
3	EXISTING CONDITIONS PLAN	11/27/23	
4	LAYOUT PLAN	01/16/24	
5	GRADING PLAN	01/16/24	
6	SEWER, DRAIN & UTILITY PLAN	01/16/24	
7	DETAIL SHEET	11/27/23	
8	DETAIL SHEET	11/27/23	

#### OWNER/ APPLICANT:

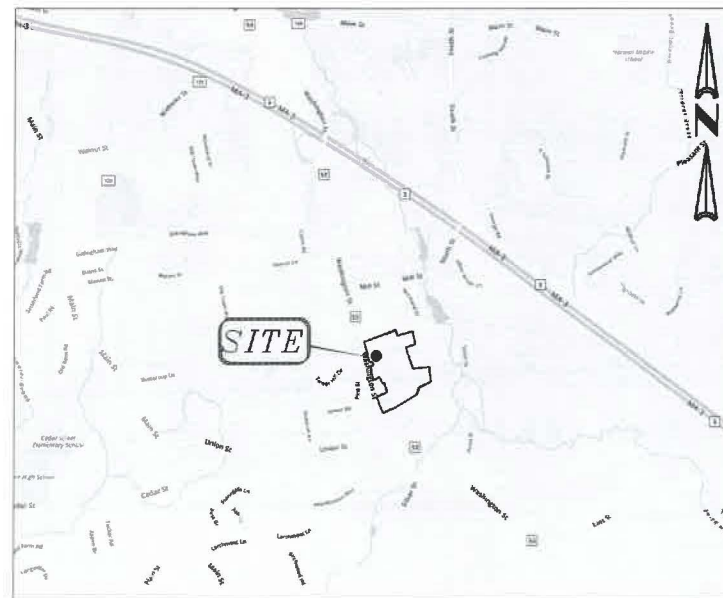
HANOVER WASHINGTON LIMITED PARTNERSHIP  
625 MT. AUBURN ST.  
SUITE 210  
CAMBRIDGE, MA 02138

#### CIVIL ENGINEERS:

KELLY ENGINEERING GROUP, INC.  
0 CAMPANELLI DRIVE  
BRAINTREE, MA 02184

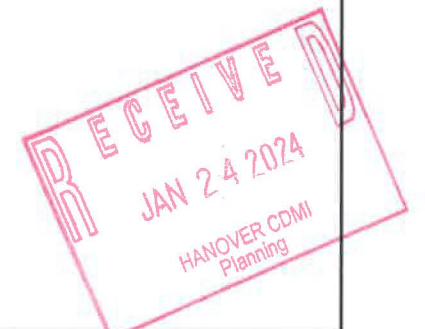
#### ARCHITECTS:

GLMV ARCHITECTURE  
1525 E. DOUGLAS AVENUE  
WICHITA, KS 67211



LOCATION MAP

Brandon  
Li  
2024.01.1  
9:07:40:21  
-05'00"

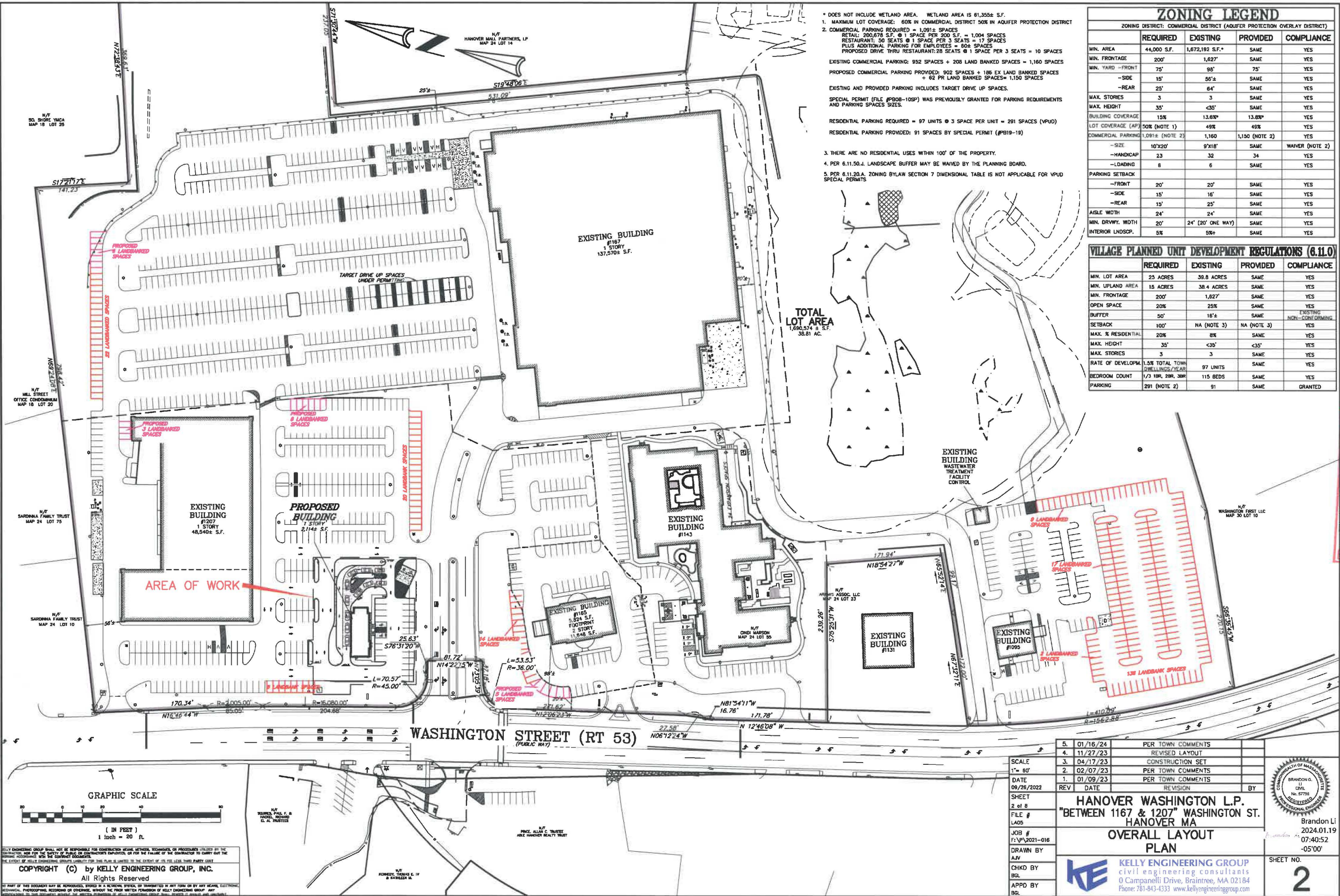


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	SCALE NA	JOB # F:\P\2021-016	BETWEEN 1167 & 1207 WASHINGTON ST. HANOVER, MA	
	DATE 09/26/2022	DRAWN BY AJV	<b>KELLY ENGINEERING GROUP</b> civil engineering consultants 0 Campanelli Drive, Braintree, MA 02184 Phone: 781-943-4333 www.kellyengineeringgroup.com	
	SHEET 1 of 8	CHKD BY BGL		
	FILE # TS05	APPD BY BGL		



- \* DOES NOT INCLUDE WETLAND AREA. WETLAND AREA IS 61,355± S.F.
- 1. MAXIMUM LOT COVERAGE: 60% IN COMMERCIAL DISTRICT 50X IN AQUIFER PROTECTION DISTRICT
- 2. COMMERCIAL PARKING REQUIRED = 1,091± SPACES  
 RETAIL: 200,678 S.F. @ 1 SPACE PER 200 S.F. = 1,004 SPACES  
 RESTAURANT: 50 SEATS @ 1 SPACE PER 3 SEATS = 17 SPACES  
 PLUS ADDITIONAL PARKING FOR EMPLOYEES = 60± SPACES  
 PROPOSED DRIVE THRU RESTAURANT: 28 SEATS @ 1 SPACE PER 3 SEATS = 10 SPACES  
 EXISTING COMMERCIAL PARKING: 932 SPACES + 208 LAND BANKED SPACES = 1,160 SPACES  
 PROPOSED COMMERCIAL PARKING PROVIDED: 902 SPACES + 186 EX LAND BANKED SPACES + 62 PR LAND BANKED SPACES = 1,150 SPACES  
 EXISTING AND PROVIDED PARKING INCLUDES TARGET DRIVE UP SPACES.  
 SPECIAL PERMIT (FILE #P08-10SP) WAS PREVIOUSLY GRANTED FOR PARKING REQUIREMENTS AND PARKING SPACES SIZES.  
 RESIDENTIAL PARKING REQUIRED = 97 UNITS @ 3 SPACE PER UNIT = 291 SPACES (VPUD)  
 RESIDENTIAL PARKING PROVIDED: 91 SPACES BY SPECIAL PERMIT (#P19-19)
- 3. THERE ARE NO RESIDENTIAL USES WITHIN 100' OF THE PROPERTY.
- 4. PER 6.11.50.J, LANDSCAPE BUFFER MAY BE WAIVED BY THE PLANNING BOARD.
- 5. PER 6.11.20.A, ZONING BYLAW SECTION 7 DIMENSIONAL TABLE IS NOT APPLICABLE FOR VPUD SPECIAL PERMITS

ZONING LEGEND				
ZONING DISTRICT: COMMERCIAL DISTRICT (AQUIFER PROTECTION OVERLAY DISTRICT)				
	REQUIRED	EXISTING	PROVIDED	COMPLIANCE
MIN. AREA	44,000 S.F.	1,672,192 S.F.*	SAME	YES
MIN. FRONTAGE	200'	1,627'	SAME	YES
MIN. YARD - FRONT	75'	98'	75'	YES
-SIDE	15'	35'±	SAME	YES
-REAR	25'	64'	SAME	YES
MAX. STORES	3	3	SAME	YES
MAX. HEIGHT	35'	<35'	SAME	YES
BUILDING COVERAGE	15%	13.65%	13.85%	YES
LOT COVERAGE (AP)	50% (NOTE 1)	49%	49%	YES
COMMERCIAL PARKING	1,091± (NOTE 2)	1,160	1,150 (NOTE 2)	YES
-SIZE	10'X20'	9'X18'	SAME	WAIVER (NOTE 2)
-HANDICAP	23	32	34	YES
-LOADING	8	6	SAME	YES
PARKING SETBACK				
-FRONT	20'	20'	SAME	YES
-SIDE	15'	16'	SAME	YES
-REAR	15'	25'	SAME	YES
aisle WIDTH	24'	24'	SAME	YES
MIN. DRWY. WIDTH	20'	24' (20' ONE WAY)	SAME	YES
INTERIOR LANDSC.	5%	5%+	SAME	YES

VILLAGE PLANNED UNIT DEVELOPMENT REGULATIONS (6.11.0)				
	REQUIRED	EXISTING	PROVIDED	COMPLIANCE
MIN. LOT AREA	25 ACRES	39.8 ACRES	SAME	YES
MIN. UPLAND AREA	15 ACRES	38.4 ACRES	SAME	YES
MIN. FRONTAGE	200'	1,627'	SAME	YES
OPEN SPACE	20%	25%	SAME	YES
BUFFER	50'	18'±	SAME	NON-CORRECTING
SETBACK	100'	NA (NOTE 3)	NA (NOTE 3)	YES
MAX. % RESIDENTIAL	20%	8%	SAME	YES
MAX. HEIGHT	35'	<35'	<35'	YES
MAX. STORES	3	3	SAME	YES
RATE OF DEVELOPM.	1.5% TOTAL TOWN DWELLINGS/YEAR	97 UNITS	SAME	YES
BEDROOM COUNT	1/3 1BR, 2BR, 3BR	115 BEDS	SAME	YES
PARKING	291 (NOTE 2)	91	SAME	GRANTED

RECEIVED  
 JAN 24 2024  
 HANOVER CD/MI

SCALE	1" = 60'
DATE	09/26/2022
SHEET	2 of 8
FILE #	LAOS
JOB #	F:\P\2021-016
DRAWN BY	AJV
CHKD BY	BDL
APPD BY	BDL

5.	01/16/24	PER TOWN COMMENTS	BY
4.	11/27/23	REVISED LAYOUT	
3.	04/17/23	CONSTRUCTION SET	
2.	02/07/23	PER TOWN COMMENTS	
1.	01/09/23	PER TOWN COMMENTS	

**HANOVER WASHINGTON L.P.**  
 "BETWEEN 1167 & 1207" WASHINGTON ST.  
 HANOVER MA  
**OVERALL LAYOUT PLAN**

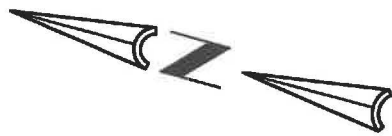
Brandon Li  
 2024.01.19  
 07:40:52  
 -05'00"

SHEET NO. **2**

**KELLY ENGINEERING GROUP**  
 civil engineering consultants  
 0 Campanelli Drive, Braintree, MA 02184  
 Phone: 781-843-4333 www.kellyengineeringgroup.com

GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 20 ft.

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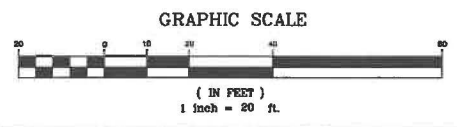


**NOTES:**

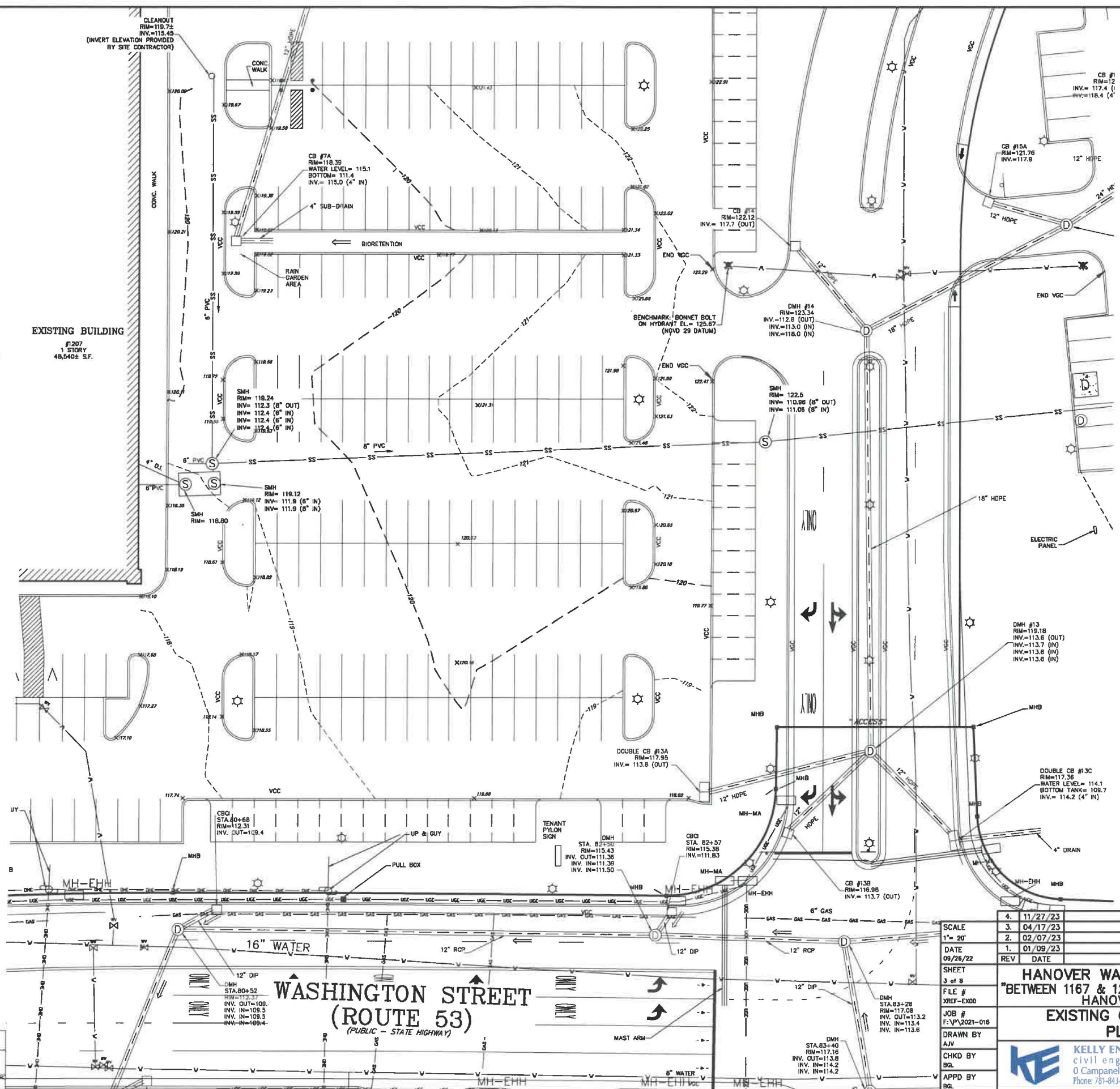
- 1.) UNDERGROUND FEATURES HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND KELLY ENGINEERING GROUP, INC. DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO KELLY ENGINEERING GROUP, INC. THE SIZE, LOCATION, AND EXISTENCE OF ALL SUCH FEATURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
- 2.) THE LOCATION OF ALL UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED USING ASCE 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA) QUALITY LEVEL C.
- 3.) THE SITE DETAIL AND SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN ON THE GROUND SURVEY PERFORMED BY KELLY ENGINEERING GROUP.
- 4.) ELEVATIONS SHOWN ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29).

EXISTING BUILDING  
#1207  
1 STORY  
48,540± S.F.

LEGEND	
	DRAIN LINE
	CATCH BASIN
	DRAIN MANHOLE
	ROOF DRAIN
	SEWER LINE
	SEWER MANHOLE
	BOLLARD
	GAS VALVE
	GAS LINE
	HYDRANT
	WATER VALVE
	WATER LINE
	UTILITY POLE
	LIGHT POLE
	ELECTRIC MANHOLE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD WIRES
	EDGE OF WETLANDS
	WETLANDS
	STONE WALL
	TREE LINE
	MASS. HIGHWAY/ MAST ARM
	MASS. HIGHWAY/ ELEC. HAND HOLE
	GUARDRAIL
	CHAINLINK FENCE (CLF)
	ROUND "TARGET" BOLLARD
	MONITORING WELL
	SIGN
	MASS. HIGHWAY BOUND

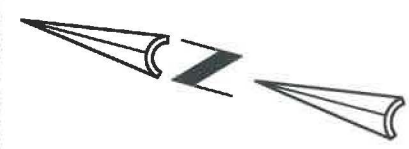


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SCALE	1" = 20'	4.	11/27/23	NO CHANGE	
DATE	09/26/22	3.	04/17/23	NO CHANGE	
DATE	01/09/23	2.	02/07/23	NO CHANGE	
DATE	01/09/23	1.	01/09/23	NO CHANGE	
REV				REVISION	BY
<b>HANOVER WASHINGTON L.P.</b> <b>"BETWEEN 1167 &amp; 1207" WASHINGTON ST.</b> <b>HANOVER MA</b> <b>EXISTING CONDITIONS</b> <b>PLAN</b>					
SHEET	3 of 5				
FILE #	XREF-EXDD				
JOB #	F:\V\2021-016				
DRAWN BY	AJV				
CHKD BY	BSL				
APPD BY	BSL				
<b>KELLY ENGINEERING GROUP</b> civil engineering consultants 0 Campanelli Drive, Braintree, MA 02184 Phone: 781-843-4333 www.kellyengineeringgroup.com		Steven M. Horsfall Digitally signed by Steven M. Horsfall Date: 2023.11.2 14:13:18 -0500			
		SHEET NO. <b>3</b>			

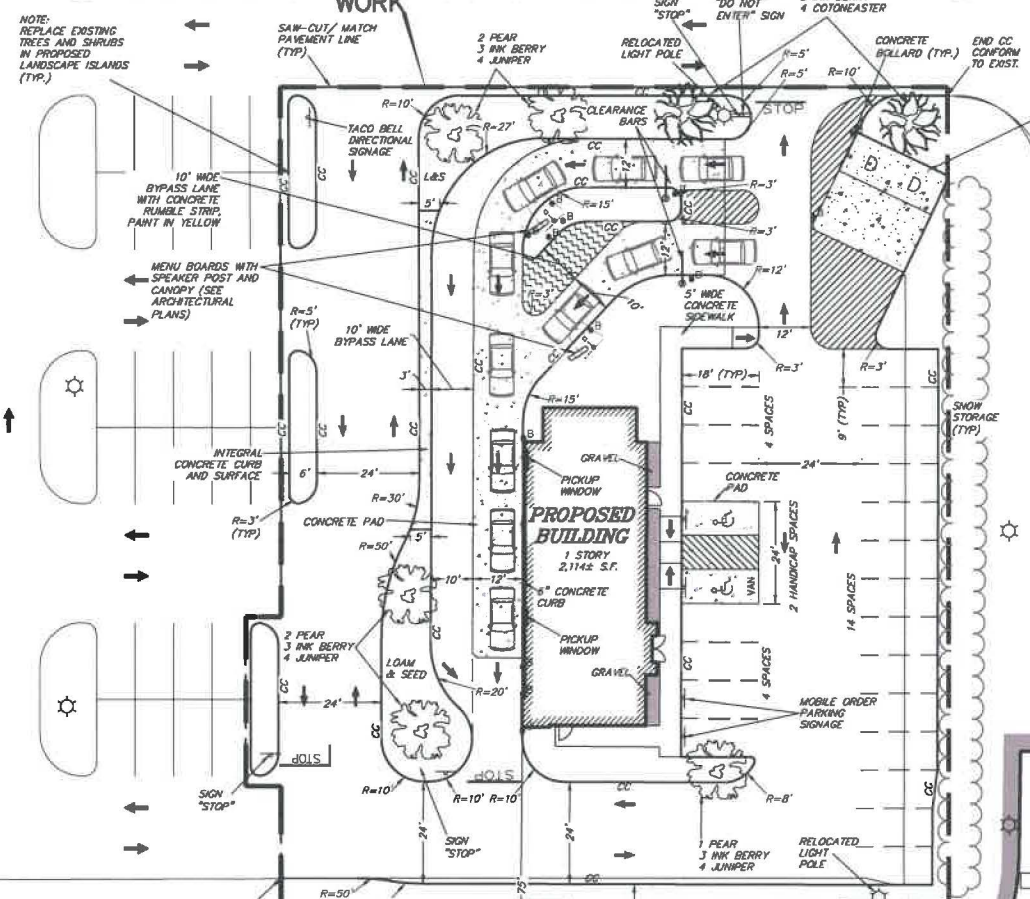
PROPOSED LEGEND	
CC	CONCRETE CURB
	HANDICAP SPACE
	VAN HANDICAP SPACE
	HANDICAP RAMP
	CURB STOP
	SAW CUT/ MATCH PAVEMENT LINE
	TRAFFIC FLOW
	SIGN
	SNOW STORAGE
	LIGHT POLES
	WALL MOUNTED LIGHT



EXISTING BUILDING  
#1207  
1 STORY  
48,540± S.F.

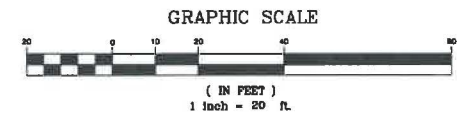
AREA OF WORK

NOTE: FOR DETAILS ON TREES, SHRUBS & GROUNDCOVER SEE LANDSCAPE PLAN BY KELLY ENGINEERING GROUP, INC. LATEST REVISED DATE 7/17/09.

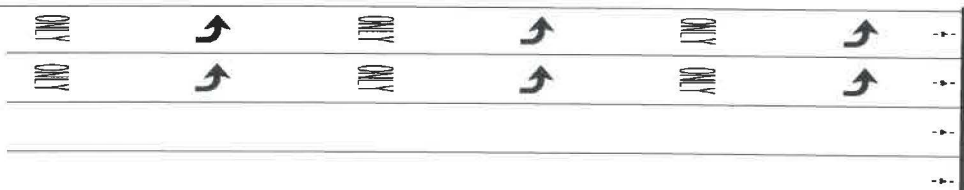


PROPOSED DUMPSTER PAD AND ENCLOSURE (25' x 24')

TACO BELL DIRECTIONAL SIGNAGE



WASHINGTON STREET (RT 53)  
(PUBLIC WAY)



5.	01/16/24	PER TOWN COMMENTS	
4.	11/27/23	REVISED LAYOUT	
3.	04/17/23	CONSTRUCTION SET	
2.	02/07/23	PER TOWN COMMENTS	
1.	01/09/23	PER TOWN COMMENTS	
REV	DATE	REVISION	BY

SCALE  
1" = 20'  
DATE  
08/26/2022  
SHEET  
4 of 8  
FILE #  
LAOS  
JOB #  
F:\2021-016  
DRAWN BY  
A/V  
CHKD BY  
B/L  
APPD BY  
B/L

HANOVER WASHINGTON L.P.  
"BETWEEN 1167 & 1207" WASHINGTON ST.  
HANOVER MA  
LAYOUT  
PLAN

KELLY ENGINEERING GROUP  
civil engineering consultants  
0 Campanelli Drive, Braintree, MA 02184  
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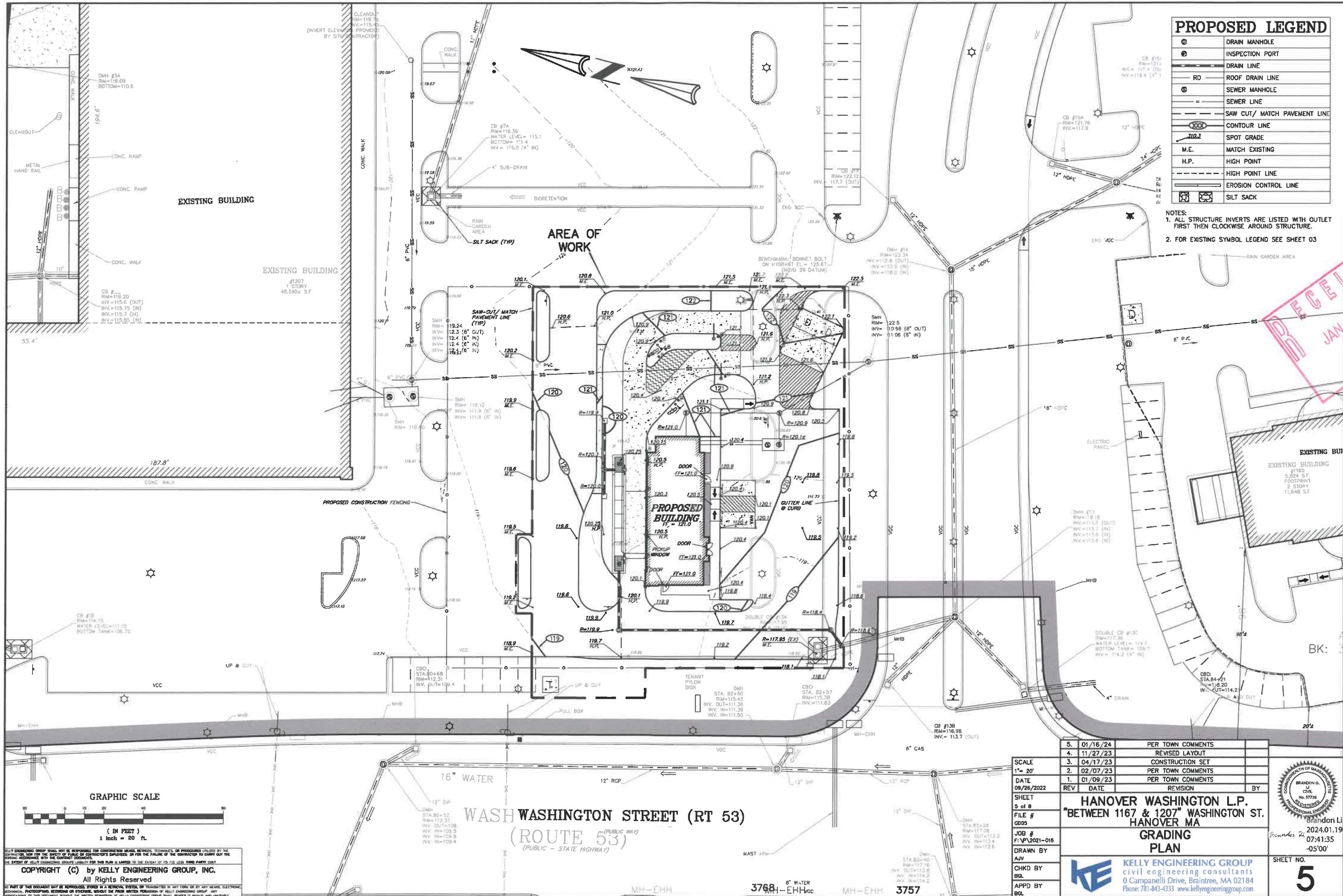


Brandon Li  
2024.01.19  
07:41:09  
-05'00"

SHEET NO.  
**4**

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Planning

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**PROPOSED LEGEND**

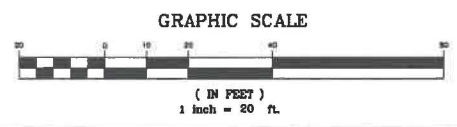
⊙	DRAIN MANHOLE
⊗	INSPECTION PORT
—	DRAIN LINE
—	ROOF DRAIN LINE
⊙	SEWER MANHOLE
—	SEWER LINE
—	SAW CUT/ MATCH PAVEMENT LINE
—	CONTOUR LINE
—	SPOT GRADE
M.E.	MATCH EXISTING
H.P.	HIGH POINT
—	HIGH POINT LINE
—	EROSION CONTROL LINE
⊗	SILT SACK

NOTES:  
 1. ALL STRUCTURE INVERTS ARE LISTED WITH OUTLET FIRST THEN CLOCKWISE AROUND STRUCTURE.  
 2. FOR EXISTING SYMBOL LEGEND SEE SHEET D3

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**WASH WASHINGTON STREET (RT 53)**  
 (ROUTE 53)  
 (PUBLIC - STATE HIGHWAY)

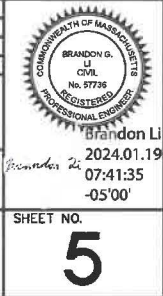
5.	01/16/24	PER TOWN COMMENTS
4.	11/27/23	REVISED LAYOUT
3.	04/17/23	CONSTRUCTION SET
2.	02/07/23	PER TOWN COMMENTS
1.	01/09/23	PER TOWN COMMENTS

SCALE 1" = 20'  
 DATE 09/26/2022  
 SHEET 5 of 8  
 FILE # G205  
 JOB # F:\V\2021-016  
 DRAWN BY AJV  
 CHKD BY BSL  
 APPD BY BSL

**HANOVER WASHINGTON L.P.**  
 "BETWEEN 1167 & 1207" WASHINGTON ST.  
 HANOVER MA  
**GRADING PLAN**

BRANDON G. LI  
 CIVIL  
 No. 57736  
 REGISTERED PROFESSIONAL ENGINEER  
 Brandon Li  
 2024.01.19  
 07:41:35  
 -05'00"

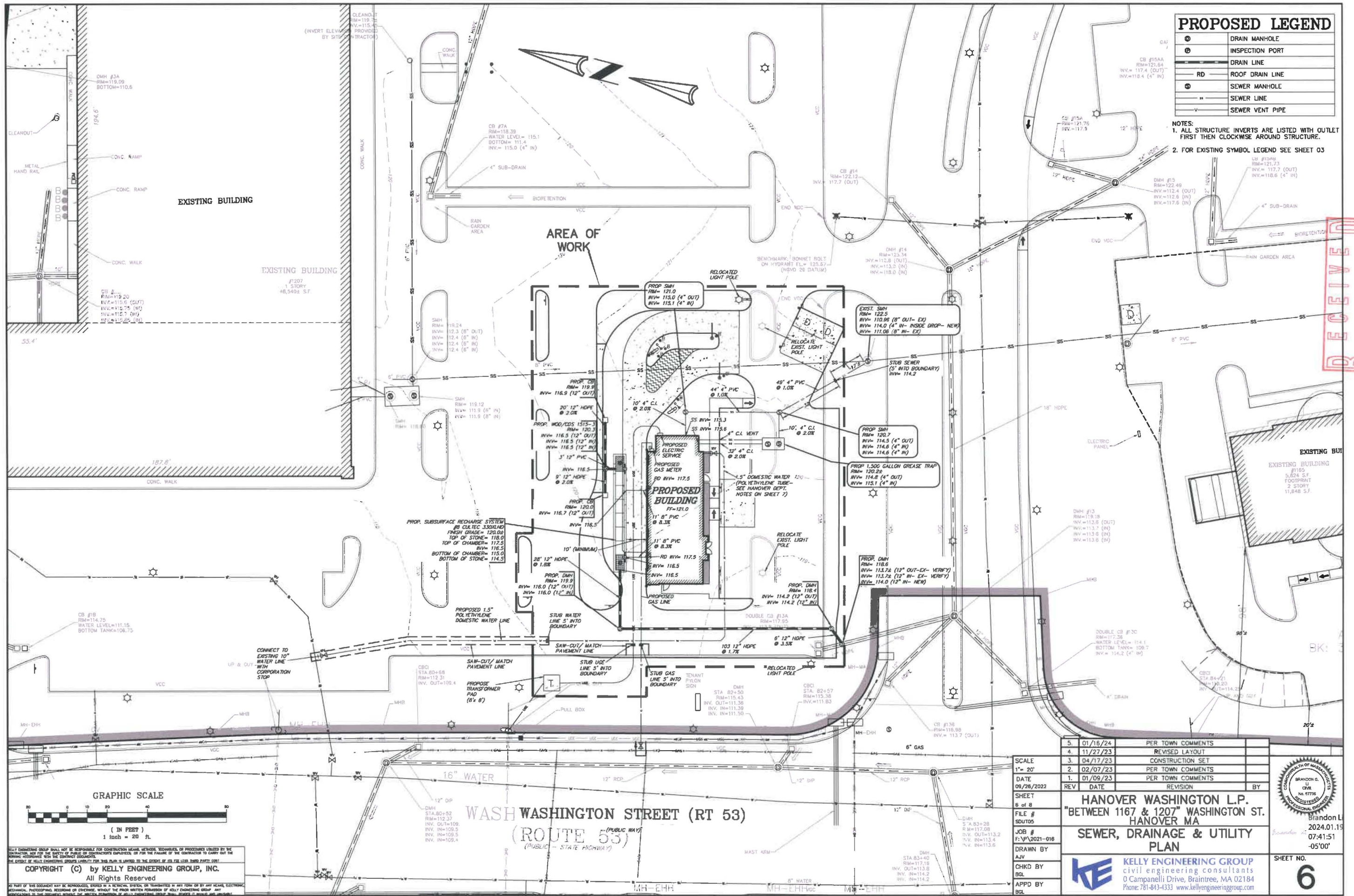
SHEET NO. **5**



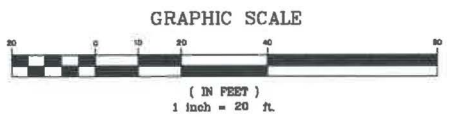
**PROPOSED LEGEND**

⊙	DRAIN MANHOLE
⊕	INSPECTION PORT
—	DRAIN LINE
RD	ROOF DRAIN LINE
⊙	SEWER MANHOLE
—	SEWER LINE
—	SEWER VENT PIPE

NOTES:  
 1. ALL STRUCTURE INVERTS ARE LISTED WITH OUTLET FIRST THEN CLOCKWISE AROUND STRUCTURE.  
 2. FOR EXISTING SYMBOL LEGEND SEE SHEET 03



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 Planning



5.	01/16/24	PER TOWN COMMENTS	
4.	11/27/23	REVISED LAYOUT	
3.	04/17/23	CONSTRUCTION SET	
2.	02/07/23	PER TOWN COMMENTS	
1.	01/09/23	PER TOWN COMMENTS	
REV	DATE	REVISION	BY
<b>HANOVER WASHINGTON L.P.</b> "BETWEEN 1167 & 1207" WASHINGTON ST. HANOVER MA <b>SEWER, DRAINAGE &amp; UTILITY PLAN</b>			
SCALE 1" = 20' DATE 09/26/2022 SHEET 6 of 8 FILE # S0405 JOB # F:\P\2021-016 DRAWN BY AJV CHKD BY BQ APPD BY BQ		BRANDON G. LIU CIVIL No. 57736 PROFESSIONAL ENGINEER Brandon L. 2024.01.19 07:41:51 -05'00" SHEET NO. <b>6</b>	

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