



TARGET®

DRIVE UP EXPANSION
T-2532 HANOVER
1167 WASHINGTON ST.
HANOVER, MA 02339



SHEET INDEX

COVER SHEET.....C0.0

OVERALL SITE PLAN.....C0.1

AS-BUILT SITE PLAN.....C0.2

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IMPROVEMENT PLAN.....C1.0

DETAILS.....C2.0 - C2.1

SCOPE OF WORK

PARKING LOT RE-STRIPING, STALL PARKING SIGNAGE AND WAYFINDING DRIVE UP BEACONS WHERE SHOWN ON THE PLAN.

ZONING

COMMERCIAL DISTRICT

OFF-STREET PARKING LOT CODE REQUIREMENTS

- DRIVE AISLE = 24' MIN. WIDTH
- STANDARD PARKING STALL = 10' X 20' MIN. (9' X 18' EXISTING)

OWNER

TARGET CORP.
CONTACT: MATTHEW FLANSBURG
50 SOUTH 10TH ST, SUITE 400
MINNEAPOLIS, MN, 55403
MATTHEW.FLANSBURG@TARGET.COM

CIVIL ENGINEER

KIMLEY-HORN
CONTACT: JUSTIN BECKER P.E.
401 B ST, SUITE 600
SAN DIEGO, CA, 92101
619-234-9411
JUSTIN.BECKER@KIMLEY-HORN.COM



Kimley»Horn
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404 WYMAN STREET, SUITE 205
MELBURN, MA 02126
781-338-2676
WWW.KIMLEY-HORN.COM

Date	No	Description



DATE: 04/12/2022

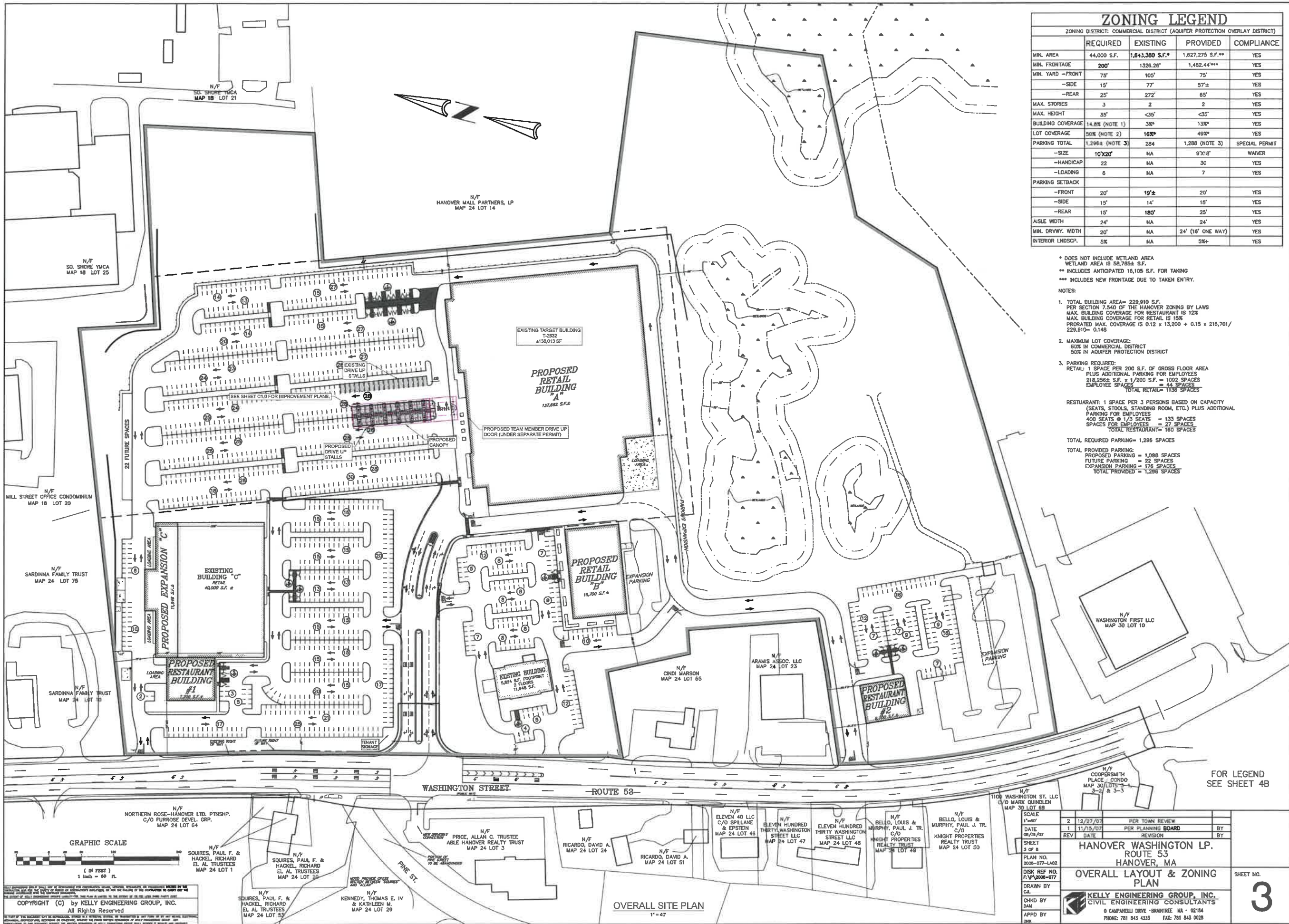
TARGET
T-2532 HANOVER
1167 WASHINGTON ST.
HANOVER, MA 02339

Project Number: T-2532
Config:
Drawn By:
Checked By: KR

COVER SHEET
C0.0

Plotted By: Mur.h.j., Scott. Sheet: Selt.khc. Layout: C0.0. April 12, 2022. 02:25:11pm. C:\Users\scott.murphy\My Documents - Documents - T-Stores_2532_Hanover_CADD_T2532_DriveUp_Expansion.dwg
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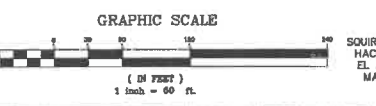
ZONING LEGEND

ZONING DISTRICT: COMMERCIAL DISTRICT (AQUIFER PROTECTION OVERLAY DISTRICT)

	REQUIRED	EXISTING	PROVIDED	COMPLIANCE
MIN. AREA	44,000 S.F.	1,643,380 S.F.*	1,827,275 S.F.**	YES
MIN. FRONTAGE	200'	1326.26'	1,482.44***	YES
MIN. YARD -FRONT	75'	105'	75'	YES
-SIDE	15'	77'	57'±	YES
-REAR	25'	272'	65'	YES
MAX. STORIES	3	2	2	YES
MAX. HEIGHT	35'	<35'	<35'	YES
BUILDING COVERAGE	14.8% (NOTE 1)	3%*	13%*	YES
LOT COVERAGE	50% (NOTE 2)	16%*	49%*	YES
PARKING TOTAL	1,296± (NOTE 3)	284	1,288 (NOTE 3)	SPECIAL PERMIT
-SIZE	10'X20'	NA	9'X16'	WAIVER
-HANDICAP	22	NA	30	YES
-LOADING	6	NA	7	YES
PARKING SETBACK				
-FRONT	20'	19'±	20'	YES
-SIDE	15'	14'	15'	YES
-REAR	15'	180'	25'	YES
AISLE WIDTH	24'	NA	24'	YES
MIN. DRVWY. WIDTH	20'	NA	24' (16' ONE WAY)	YES
INTERIOR LINDSCP.	5%	NA	5%+	YES

* DOES NOT INCLUDE WETLAND AREA
WETLAND AREA IS 58,785± S.F.
** INCLUDES ANTICIPATED 16,105 S.F. FOR TAKING
*** INCLUDES NEW FRONTAGE DUE TO TAKEN ENTRY.

- NOTES:
- TOTAL BUILDING AREA= 229,910 S.F.
PER SECTION 7.540 OF THE HANOVER ZONING BY LAWS
MAX. BUILDING COVERAGE FOR RESTAURANT IS 12%
MAX. BUILDING COVERAGE FOR RETAIL IS 15%
PROPOSED MAX. COVERAGE IS 0.12 x 13,200 + 0.15 x 216,701/
229,910 = 0.148
 - MAXIMUM LOT COVERAGE:
60% IN COMMERCIAL DISTRICT
50% IN AQUIFER PROTECTION DISTRICT
 - PARKING REQUIRED:
RETAIL: 1 SPACE PER 200 S.F. OF GROSS FLOOR AREA
PLUS ADDITIONAL PARKING FOR EMPLOYEES
218,556 S.F. ÷ 1/200 S.F. = 1092 SPACES
EMPLOYEE SPACES = 44 SPACES
TOTAL RETAIL= 1136 SPACES
RESTAURANT: 1 SPACE PER 3 PERSONS BASED ON CAPACITY
(SEATS, STOOLS, STANDING ROOM, ETC.) PLUS ADDITIONAL
PARKING FOR EMPLOYEES
400 SEATS @ 1/3 SEATS = 133 SPACES
SPACES FOR EMPLOYEES = 27 SPACES
TOTAL RESTAURANT= 160 SPACES
TOTAL REQUIRED PARKING= 1,296 SPACES
TOTAL PROVIDED PARKING:
PROPOSED PARKING = 1,098 SPACES
FUTURE PARKING = 22 SPACES
EXPANSION PARKING = 176 SPACES
TOTAL PROVIDED = 1,296 SPACES



GRAPHIC SCALE
(IN FEET)
1 inch = 60 ft.

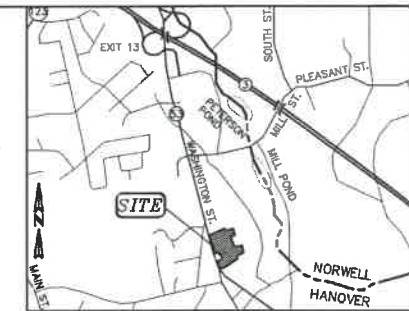
N/F WASHINGTON ST. LLC C/O MARK GUNDEN MAP 30 LOT 68		N/F WASHINGTON ST. LLC C/O MARK GUNDEN MAP 30 LOT 68	
SCALE	1"=60'	DATE	12/27/07
DATE	08/21/07	REV	1
SHEET	3 of 8	REV	2
PLAN NO.	2006-077-LA02	DATE	11/15/07
DISK REF NO.	FVP2006-077	REVISION	PER TOWN REVIEW
DRAWN BY	CL	BY	
CHKD BY	DM	BY	
APPD BY	DM	BY	
DATE		REVISION	PER PLANNING BOARD
HANOVER WASHINGTON LP. ROUTE 53 HANOVER, MA OVERALL LAYOUT & ZONING PLAN			
KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS 0 CAMPANELLI DRIVE • BRANTREE, MA • 02184 PHONE: 781 843 4333 FAX: 781 843 0028		SHEET NO. 3	

FOR REFERENCE ONLY

OVERALL SITE PLAN

C0.1

OVERALL SITE PLAN
1"=40'



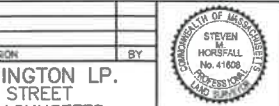
LEGEND

---	DRAIN LINE
□	CATCH BASIN
○	DRAIN MANHOLE
—	ROOF DRAIN
---	SEWER LINE
○	SEWER MANHOLE
⊕	BOLLARD
⊕	GAS VALVE
⊕	GAS LINE
⊕	HYDRANT
⊕	WATER VALVE
---	WATER LINE
---	UTILITY POLE
---	LIGHT POLE
⊕	ELECTRIC MANHOLE
---	UNDERGROUND ELECTRIC LINE
---	OVERHEAD WIRES
---	EDGE OF WETLANDS
---	WETLANDS
---	STONE WALL
---	TREE LINE
---	MASS. HIGHWAY / MAST ARM
---	MASS. HIGHWAY / ELEC. HAND HOLE
---	GUARDRAIL
---	CHAINLINK FENCE (CLF)
⊕	ROUND "TARGET" BOLLARD
⊕	MONITORING WELL
⊕	SIGN
---	MASS. HIGHWAY BOUND

OWNERS OF RECORD:
 HANOVER WASHINGTON LIMITED PARTNERSHIP
 C/O JOSH KATZEN, FOREST PROPERTIES
 18 NEEDHAM ST.
 NEWTON, MA 02461

PROPERTY ADDRESS:
 BETWEEN 1131 AND 1075',
 1165, 1167, AND 1207
 WASHINGTON ST.
 HANOVER, MA 02339

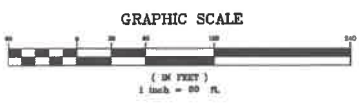
ASSESSOR'S: MAP 24,
 LOTS 11, 12, 13, 16, 22,
 55, 59, AND 60



FOR
 REFERENCE
 ONLY

- PLAN REFERENCES:**
- 1) "THE COMMONWEALTH OF MASSACHUSETTS PLAN OF ROAD IN THE TOWN OF HANOVER, PLYMOUTH COUNTY, ALTERED AND LAID OUT AS A STATE HIGHWAY BY THE DEPARTMENT OF HIGHWAYS, SEPTEMBER 7, 2006. LAYOUT NO. 7763"
 - 2) "PLAN OF LAND, VILAREAL PROPERTY, 1167 WASHINGTON STREET, HANOVER, MASSACHUSETTS, DATED 3-7-05, BY CUBELLIS SAVETZ ASSOC., RECORDED AS PLAN 224 OF 2005"
 - 3) "EXISTING CONDITIONS PLAN, RETAIL CENTER, HANOVER, MASS., DATED 7-20-94, BY BRADFORD SAVETZ & ASSOC., INC."
 - 4) "ALTA/ACSM LAND TITLE SURVEY, 1167 AND 1207 WASHINGTON STREET, HANOVER, MASSACHUSETTS, PLYMOUTH COUNTY, DATED 10-24-05, BY CUBELLIS SAVETZ ASSOC."
 - 5) "EXISTING CONDITIONS, TEDESCHI REALTY CORPORATION, WASHINGTON STREET IN HANOVER, MA, PLYMOUTH COUNTY, DATED 3-21-03, BY BSC GROUP"
 - 6) "MAP 24, LOT 16, PLAN OF LAND, HANOVER WASHINGTON LIMITED PARTNERSHIP, WASHINGTON ST., HANOVER, MASS., DATED 1-5-07, BY CUBELLIS."

- NOTES:**
- 1.) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY KELLY ENGINEERING GROUP, INC.
 - 2.) UNDERGROUND UTILITY LOCATIONS SHOWN ARE BASED ON FIELD LOCATIONS OF VISIBLE STRUCTURES COMBINED ELECTRONIC AS-BUILT DATA OF WATER, GAS, ELECTRIC AND TELEPHONE LINES PROVIDED BY THE SITE CONTRACTOR. SEWER AND DRAIN LOCATIONS AND INVERTS WERE OBTAINED BY KELLY ENGINEERING GROUP, INC.
 - 3.) ALL CURBING ON SITE IS VERTICAL CONCRETE UNLESS SPECIFIED OTHERWISE.
 - 4.) VERTICAL CONCRETE CURB ALONG BIO-RETENTION AREAS IS SLOTTED.

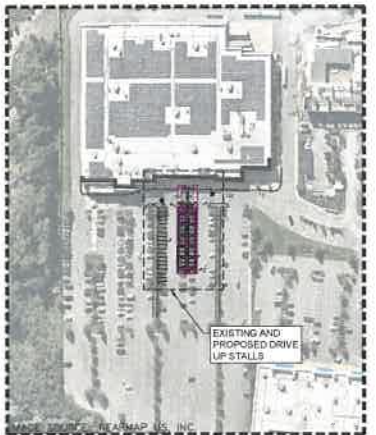
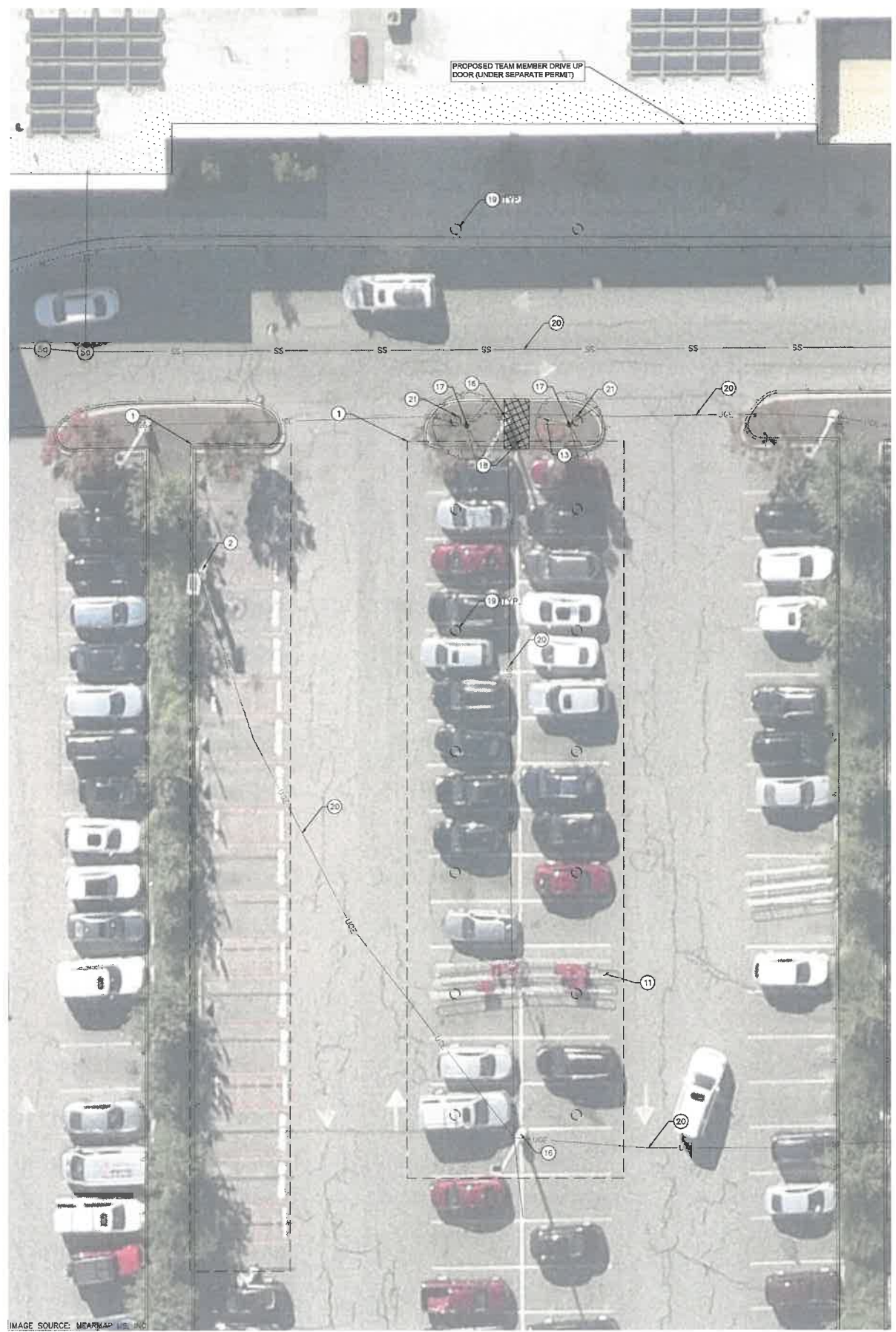


**WASHINGTON STREET
 (ROUTE 53)
 (PUBLIC - STATE HIGHWAY)**

SCALE	1" = 60'
DATE	11/07/17
SHEET	1 of 1
PLAN NO.	2008-077-1002
DISK REF NO.	F:\P\2008-077
DRAWN BY	JPM
CHECK BY	SMH
APPD BY	SMH
HANOVER WASHINGTON LP, WASHINGTON STREET HANOVER, MASSACHUSETTS	
AS-BUILT SITE PLAN	
KELLY ENGINEERING GROUP, INC. CIVIL ENGINEERING CONSULTANTS	
0 CAMPANELLI DRIVE • BRAintree, MA • 02184 PHONE: 781 843 4333 FAX: 781 843 0028	

SHEET NO.
1
 AS-BUILT SITE PLAN

Plotted By: Murrinh, Scott Sheet Set: Kthg_Lp=ult:03.3_AirB 12_2022_02:29:54.m C:\Users\jacobr\Documents - Documents - T-Stores_2532_Hanover_CADD_T2532_DriveUp_Expansion.dwg
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KEY MAP
1" = 150'

LEGEND

--- X --- X ---	LIMITS OF PARKING MARKING & REMOVAL
---	EXISTING FENCE
---	EDGE OF PAVEMENT
---	CURB
W	EXISTING WATER LINE
F	EXISTING FIRE WATER LINE
IRR	EXISTING IRRIGATION WATER LINE
S	EXISTING SANITARY SEWER LINE
SD	EXISTING STORM DRAIN LINE
UGE	EXISTING UNDERGROUND ELECTRIC LINE
G	EXISTING GAS LINE
T	EXISTING TELECOMMUNICATIONS LINE
UNK	EXISTING UNKNOWN UTILITY LINE
	WATER VALVE
	FIRE HYDRANT
	IRRIGATION VALVE
	SEWER MAN-HOLE
	SEWER CLEAN OUT
	STORM DRAIN MANHOLE
	GRATED INLET
	CATCH BASIN
	LIGHT POST
	ELECTRIC PULLBOX / E BOX
	UTILITY VAULT
	GAS VALVE
	TREE
	SIGN
	BOLLARD
	DECORATIVE CONCRETE BALL
	HANDICAP PARKING
	GREASE TRAP
	COMMUNICATION VAULTS
	SURVEY CONTROL POINTS
	MISCELLANEOUS MANHOLES
	NO PARKING
	CONCRETE
	BUILDING AREA
	ASPHALT PAVEMENT REPLACEMENT
	LANDSCAPE ISLAND REMOVAL
	ELECTRIC MANHOLE
	WATER MANHOLE
	UNKNOWN MANHOLE

DEMOLITION NOTES

- 1 REMOVE EXISTING STRIPING AND DRIVE UP SIGNAGE.
- 2 REMOVE EXISTING DRIVE UP BEACON.
- 11 REMOVE AND SALVAGE EXISTING CART CORRALS. CONTRACTOR TO COORDINATE RELOCATION WITH TARGET.
- 13 PROTECT EXISTING LANDSCAPE ISLAND.
- 16 REMOVE EXISTING LIGHT POLE. REFER TO ELECTRICAL PLANS FOR FURTHER DETAIL.
- 17 REMOVE EXISTING TREE.
- 18 REMOVE PORTION OF EXISTING LANDSCAPE ISLAND PER DETAILS SHEET.
- 19 CANOPY FOUNDATION SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DESIGN BY SHRIGGS STRUCTURES, INC. OR HENRIZE ENTERPRISES, INC. AND STRUCTURAL AFFILIATES INTERNATIONAL INC. FOR FURTHER DETAIL.
- 20 PROTECT IN PLACE EXISTING UNDERGROUND UTILITIES.
- 21 RELOCATE EXISTING UNDERGROUND ELECTRICAL CONDUIT AS NEEDED TO AVOID CONFLICT WITH PROPOSED CANOPY FOUNDATION.

GENERAL NOTES

- 1. THE LOCATION OF UTILITIES ARE BASED ON THE AVAILABILITY AND ACCURACY OF AVAILABLE RECORD DRAWINGS. A REASONABLE ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF KNOWN UNDERGROUND OBSTRUCTIONS, AND UTILITIES. THE UTILITIES, AND FACILITIES ON THE PLANS SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY UNDERGROUND UTILITIES, OR OBSTACLES THAT MAY OCCUR ON THE SITE. THE OWNER AND ENGINEER BEAR NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN IN AN INCORRECT LOCATION OR ELEVATION ON THE PLANS. CONTRACTOR TO CALL 811 PRIOR TO COMMENCING ANY CONSTRUCTION EFFORTS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 2. UTILITIES INTERFERING WITH CONSTRUCTION SHALL BE RESET OR RELOCATED BY THE CONTRACTOR UNLESS NOTED OTHERWISE, AND ENGINEER SHALL BE NOTIFIED.
- 3. THE CONTRACTOR SHALL GIVE PROPER NOTICE TO ALL UTILITY COMPANIES AND FACILITY OWNERS REGARDING REMOVAL AND RELOCATION ACTIVITIES, AND WHEN WORKING IN THE VICINITY OF UTILITY LINES.
- 4. CONFLICTS WITH IRRIGATION INFRASTRUCTURE SHALL BE REROUTED AROUND PROPOSED IMPROVEMENTS. IF AN ADJUSTED IRRIGATION PATH IS NECESSARY, PROVIDE THE MOST DIRECT CONNECTION POSSIBLE TO ROUTE AROUND IMPROVEMENTS. ENSURE THAT ALL AREAS AFFECTED BY CONSTRUCTION RECEIVE UNINTERRUPTED IRRIGATION, AT THE EXISTING SCHEDULED RATES, UNTIL CONSTRUCTION IS COMPLETE. SPlicing OF ANY CONTROL WIRES THAT REQUIRE REROUTING SHALL BE AVOIDED WHENEVER POSSIBLE. IF A SPlice IS REQUIRED, IT SHALL BE DONE USING WATER-PROOF WIRE CONNECTORS. NEW CONTROL WIRE SHALL BE RUN, AND EXTENDED AS NECESSARY, TO FOLLOW THE SAME PATH AS THE IRRIGATION WATER LINES. AFFECTED IRRIGATION AREAS MUST BE FUNCTIONING AS DESIGNED AFTER CONSTRUCTION IS COMPLETE.

Date	No	Description



DATE: 04/12/2022

TARGET
T-2532 HANOVER
1167 WASHINGTON ST.
HANOVER, MA 02339

Project Number: **T-2532**
 Confir: _____
 Drawn By: ID
 Checked By: KR

DEMOLITION PLAN

C0.3



DEMOLITION PLAN FOR EXISTING AND PROPOSED DRIVE UP STALLS
1" = 10'



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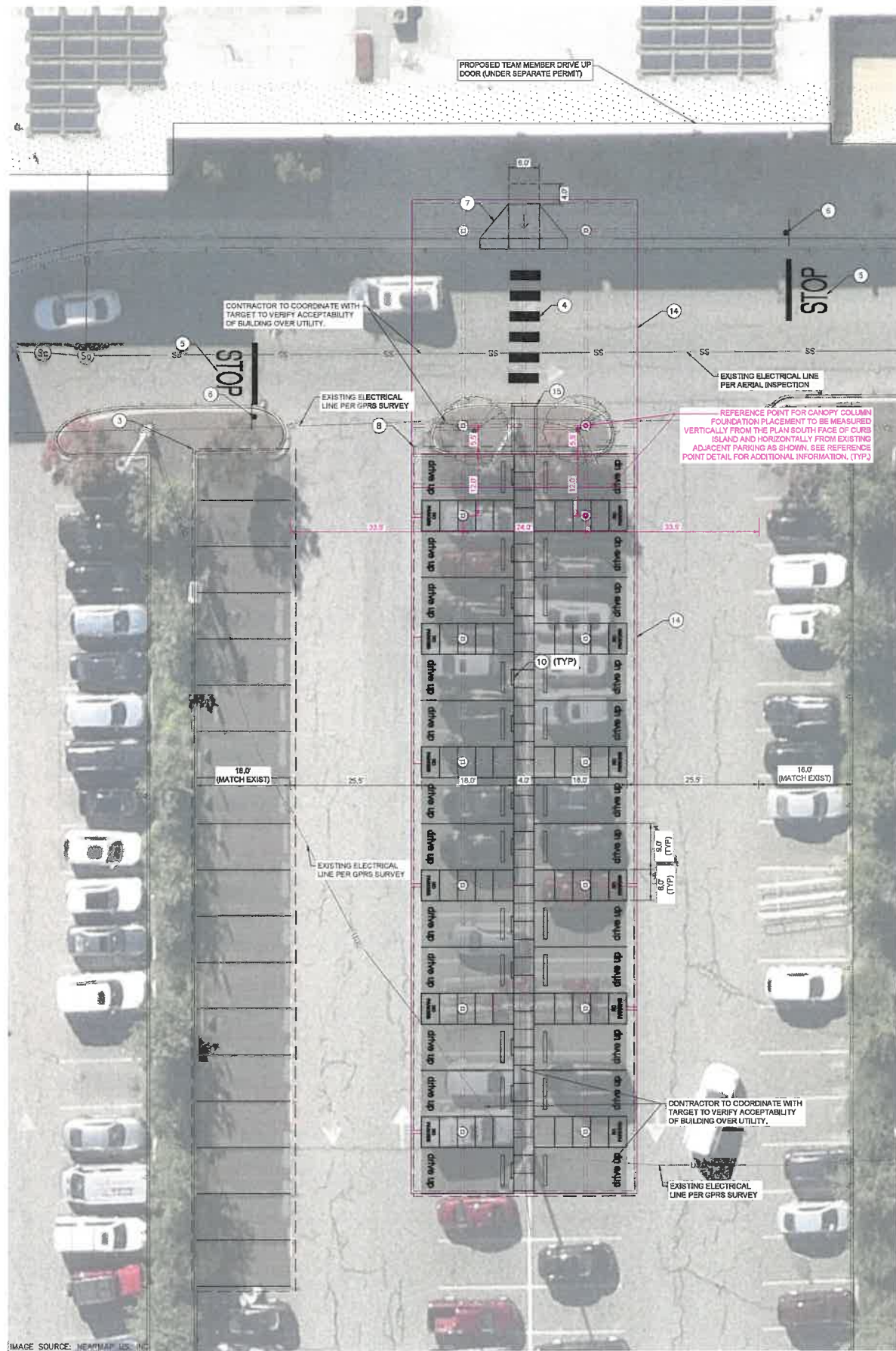
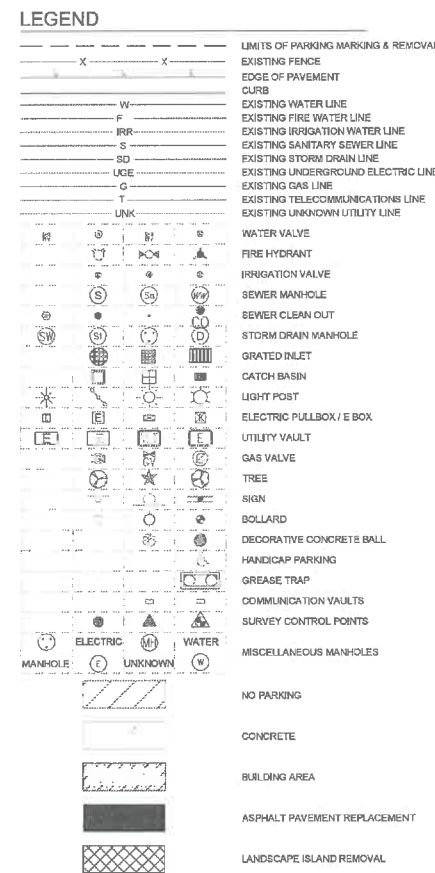


IMAGE SOURCE: HEAVYMAP.US, INC

IMPROVEMENT PLAN FOR EXISTING AND PROPOSED DRIVE UP STALLS
1" = 10'

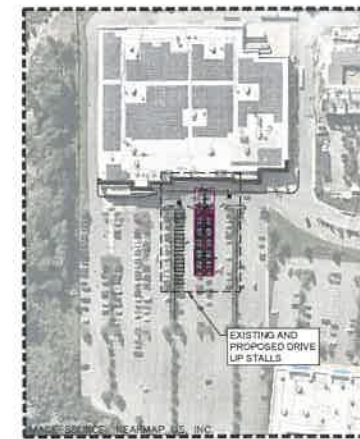


CONSTRUCTION NOTES

- 3 RESTRIPE STANDARD PARKING STALLS USING 4" WIDE WHITE STRIPING.
4 INSTALL CROSSWALK PER DETAILS SHEET.
5 INSTALL STOP BAR AND MARKINGS PER DETAILS SHEET.
6 INSTALL STOP SIGN PER DETAILS SHEET.
7 INSTALL CURB RAMP PER DETAILS SHEET.
8 INSTALL DRIVE UP STRIPING AND SIGNAGE PER DETAILS SHEET.
10 INSTALL STANCHION SIGN AND BASE PER DETAILS SHEET.
14 INSTALL TARGET CANOPY. REFER TO STRUCTURAL DESIGN BY USA SHADE AND FABRIC STRUCTURES, INC FOR FURTHER DETAIL. REFERENCE TO THESE DRAWINGS MAKES NO IMPPLICATION TO THEIR ACCURACY, NOR DOES IT INFER PROFESSIONAL SUPERVISION THEREOF.
15 INSTALL WALKWAY THROUGH EXISTING LANDSCAPE ISLAND PER DETAILS SHEET.

GENERAL NOTES

- 1. THE LOCATION OF UTILITIES ARE BASED ON THE AVAILABILITY AND ACCURACY OF AVAILABLE RECORD DRAWINGS. A REASONABLE ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF KNOWN UNDERGROUND OBSTRUCTIONS, AND UTILITIES. THE UTILITIES, AND FACILITIES ON THE PLANS SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY UNDERGROUND UTILITIES, OR OBSTACLES THAT MAY OCCUR ON THE SITE. THE OWNER AND ENGINEER BEAR NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN IN AN INCORRECT LOCATION OR ELEVATION ON THE PLANS. CONTRACTOR TO CALL 811 PRIOR TO COMMENCING ANY CONSTRUCTION EFFORTS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. UTILITIES INTERFERING WITH CONSTRUCTION SHALL BE RESET OR RELOCATED BY THE CONTRACTOR UNLESS NOTED OTHERWISE, AND ENGINEER SHALL BE NOTIFIED.
3. THE CONTRACTOR SHALL GIVE PROPER NOTICE TO ALL UTILITY COMPANIES AND FACILITY OWNERS REGARDING REMOVAL AND RELOCATION ACTIVITIES, AND WORKING IN THE VICINITY OF UTILITY LINES.
4. CONFLICTS WITH IRRIGATION INFRASTRUCTURE SHALL BE RESOLVED AROUND PROPOSED IMPROVEMENTS. IF AN ADJUSTED IRRIGATION PATH IS NECESSARY, PROVIDE THE MOST DIRECT CONNECTION POSSIBLE TO ROUTE AROUND IMPROVEMENTS. ENSURE THAT ALL AREAS AFFECTED BY CONSTRUCTION RECEIVE UNINTERRUPTED IRRIGATION AT THE EXISTING SCHEDULED RATES, UNTIL CONSTRUCTION IS COMPLETE. SPRINKLING OF ANY CONTROL WIRES THAT REQUIRE REROUTING SHALL BE AVOIDED WHENEVER POSSIBLE. IF A SPLICE IS REQUIRED, IT SHALL BE DONE USING WATER-PROOF WIRE CONNECTORS. NEW CONTROL WIRE SHALL BE RUN, AND EXTENDED AS NECESSARY, TO FOLLOW THE SAME PATH AS THE EXISTING IRRIGATION WATER LINES. AFFECTED IRRIGATION AREAS MUST BE FUNCTIONING AS DESIGNED AFTER CONSTRUCTION IS COMPLETE.



KEY MAP
1" = 150'

Table with columns: Date, No, Description



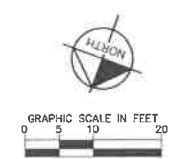
DATE: 04/12/2022

TARGET
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HANOVER, MA 02339

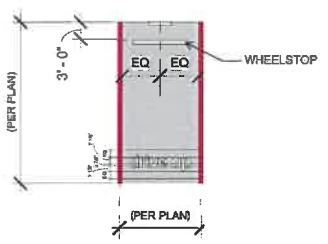
Project Number: T-2532
Config:
Drawn By: ID
Checked By: KR

IMPROVEMENT PLAN

C1.0

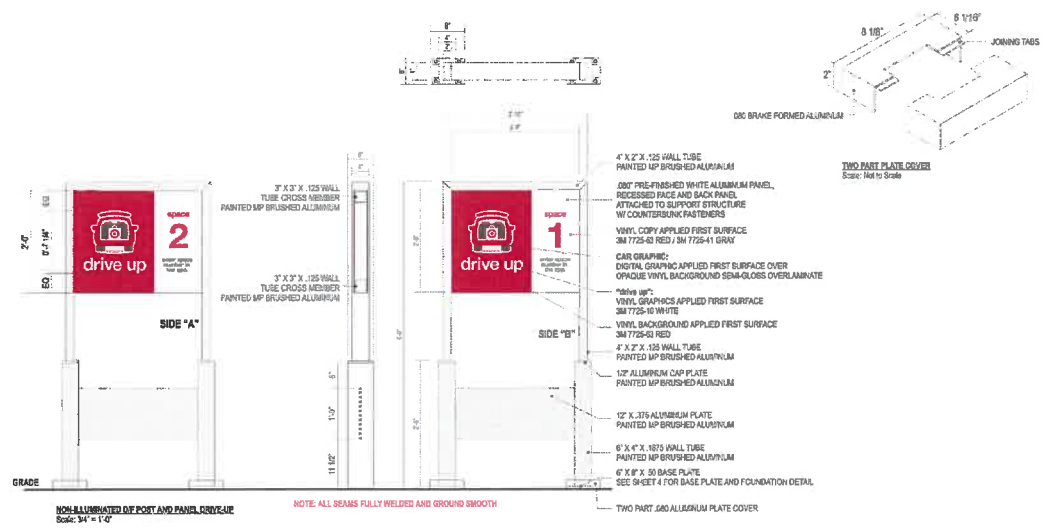


Plotted By: Murch, Scott | Sheet: StgKno_Lay1:02.0_A01 | 12-2022 | 02:26:15 | C:\Users\scott.murch\OneDrive\Documents - Documents - T-Stores\2532-Hanover\2532-DriveUp-Excavation.dwg
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- NOTES:**
- 1. ALL RED STRIPING IS 6" WIDE
 - 2. TARGET TO PROVIDE GC WITH "drive up" AND "NO PARKING" TEMPLATES
 - 3. SEE PLAN VIEW DIMENSIONS FOR EXACT LAYOUT OF SITE
 - 4. REFER TO C1.0 FOR EXACT DIMENSIONS

DRIVE UP STRIPING
 N.T.S.



STRUCTURAL DETAILS SHOWN HEREON WERE PROVIDED BY THOMPSON ENGINEERING SERVICES, LLC, AND CERTIFICATION OF THESE DRAWINGS MAKES NO IMPLICATION TO THEIR ACCURACY, NOR DOES IT INFER PROFESSIONAL SUPERVISION THEREOF.

COLOR LEGEND	
■	RED
■	GREY
■	BLACK

STANCHION SIGN POST AND BASE - DOUBLE SIDE
 N.T.S.

Date	No	Description



DATE: 04/12/2022



TARGET
 T-2532 HANOVER
 1167 WASHINGTON ST.
 HANOVER, MA 02339

Project Number	T-2532
Conf:	
Drawn By	ID
Checked By	KR




DETAILS
 C2.0



T2532 Hanover MA

Write a description for your map.

Legend

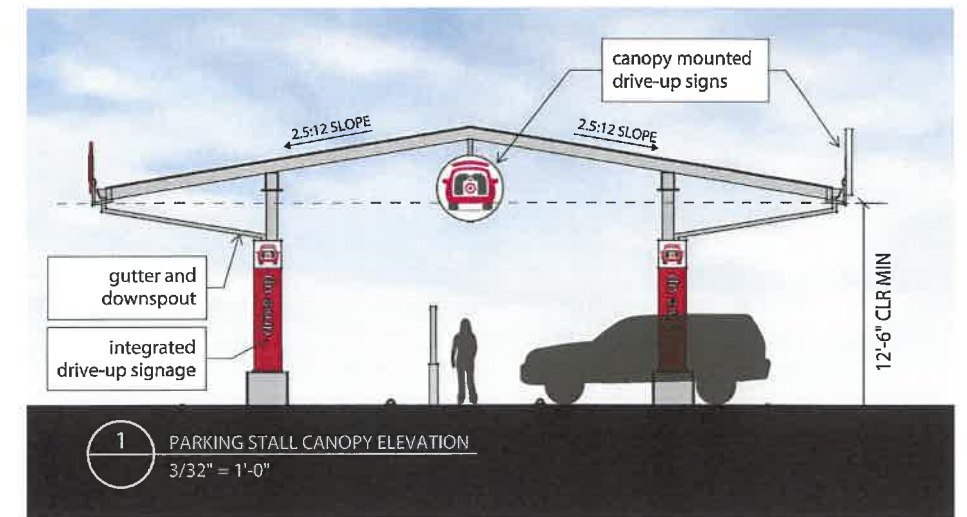
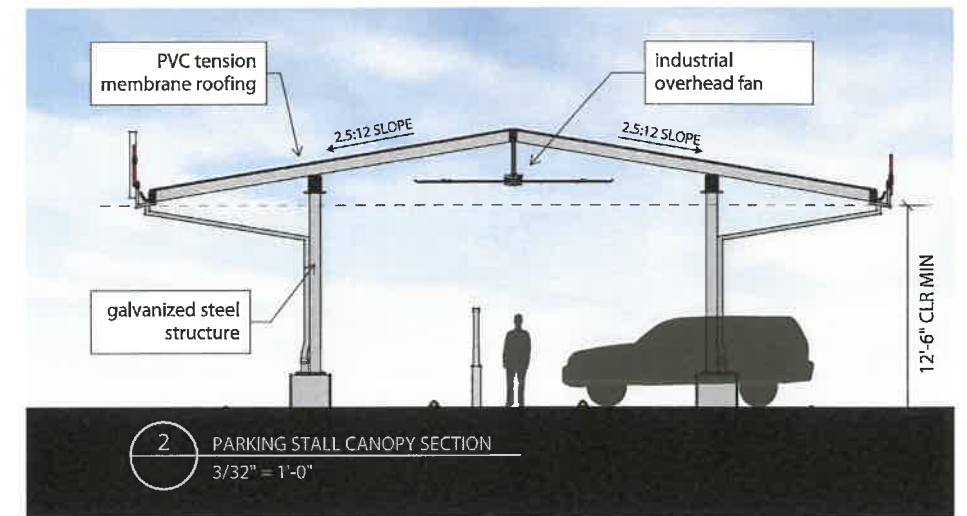
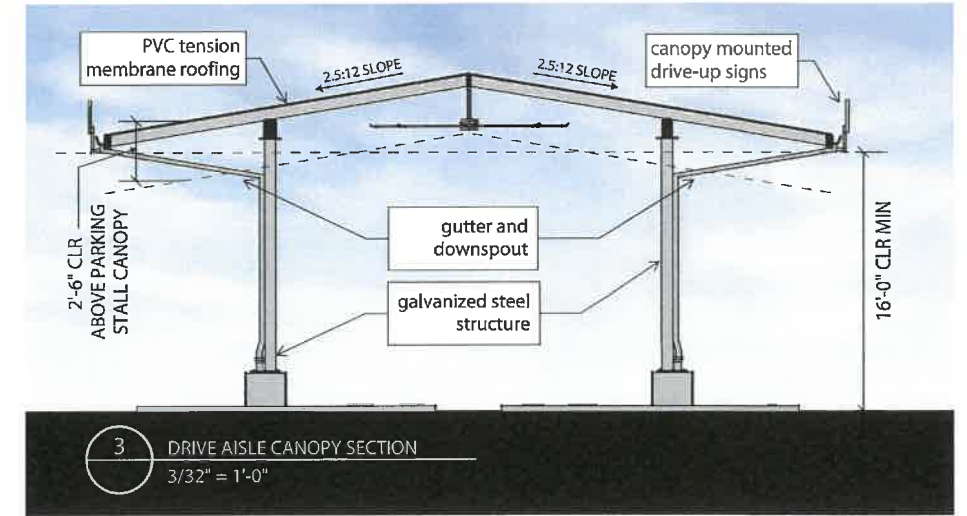
-  DU Door
-  Existing DU
-  Proposed DU



Google Earth

Data SIO, NOAA, U.S. Navy, NGA, GEBCO

100 ft



*3-dimensional perspectives are not site specific and are intended to convey proposed canopy design

24 Stall Parking Canopy

Drive Aisle Canopy

Drive-Up Canopy

06

14

21

