



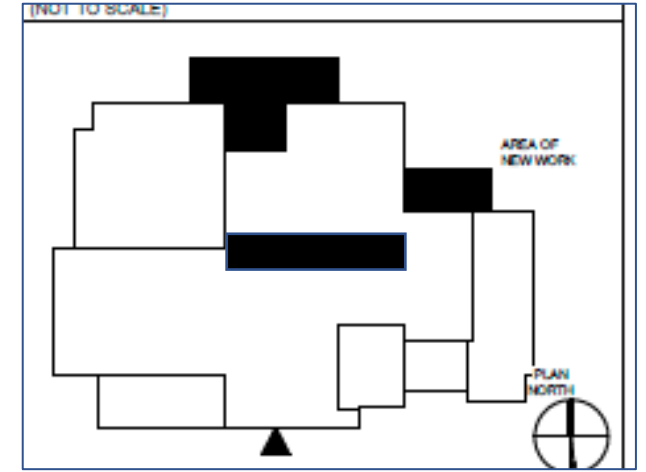
Previte's Marketplace

Office Addition

2-27.23



Three Phase approach:



01

Infill over meat counter to expand internal floor area:

02

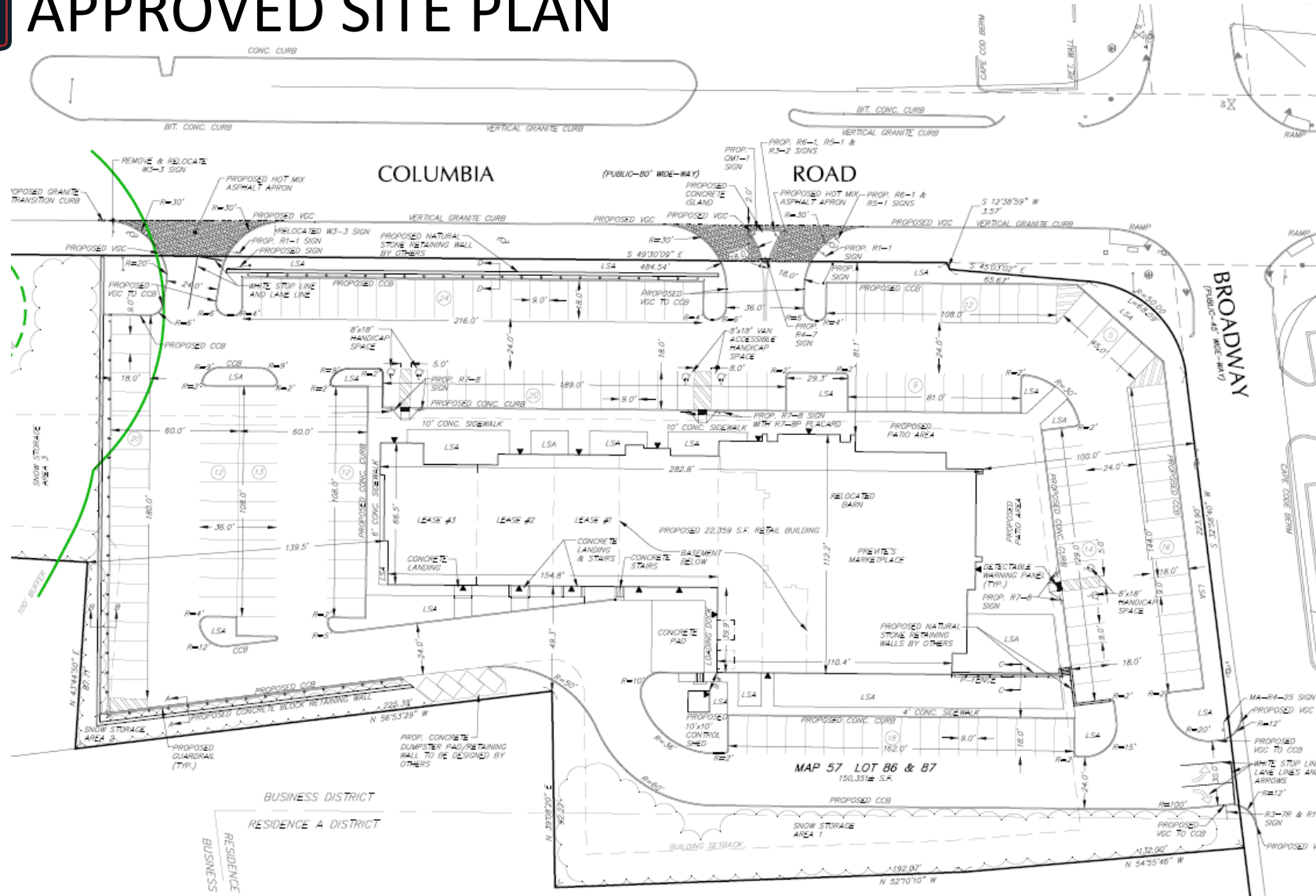
Expand off the back of the building at the second floor level

03

Expand one bay of loading dock area (2 story Addition)



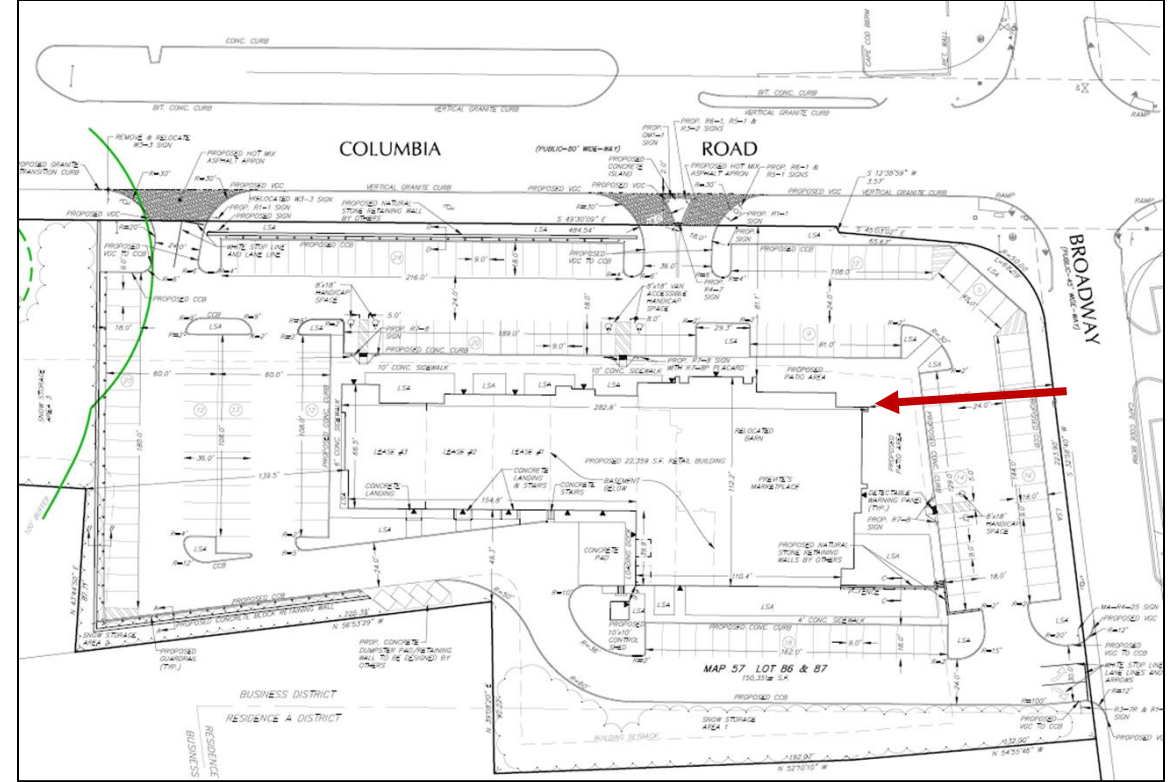
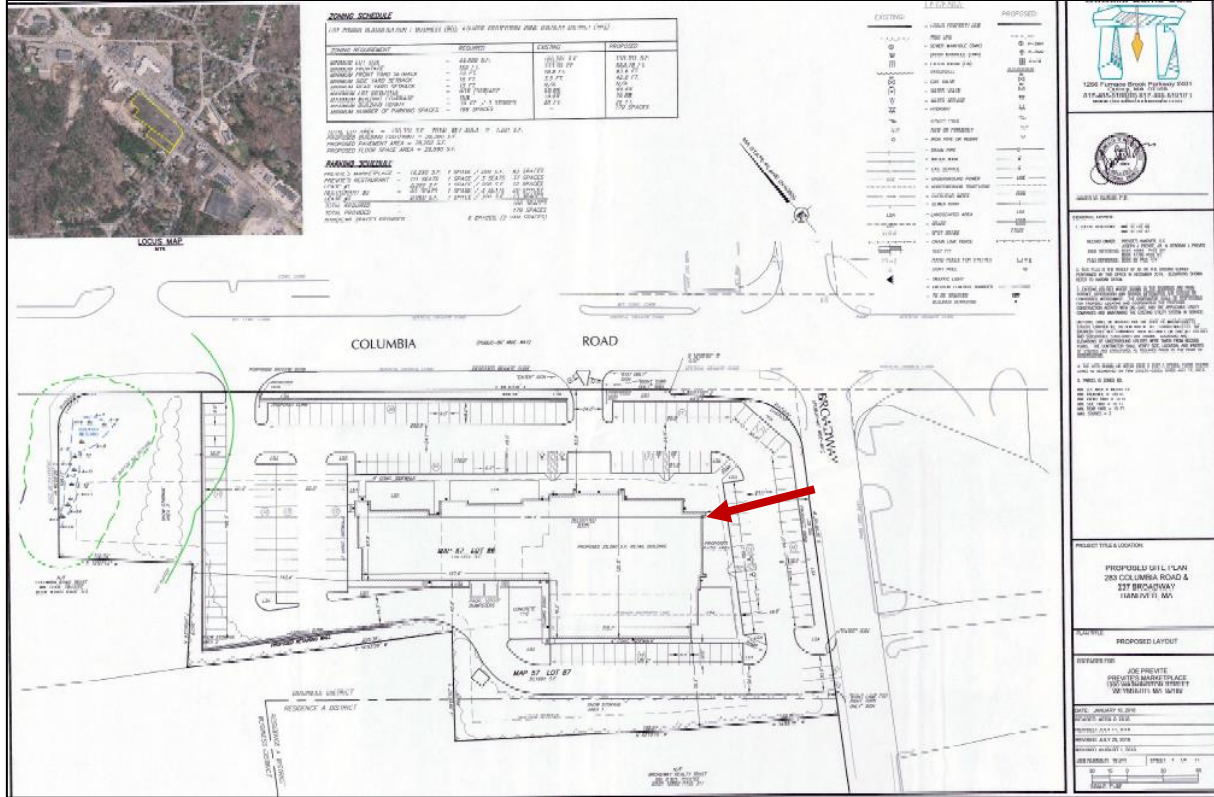
APPROVED SITE PLAN



latest site plan that was done for the original building etc.. Dated 11/25/2019.



Building Sq. Ft. compliance



Approved Site Plan
25,290 sq ft

The proposed additions increase the building footprint sq ft by 1,172 sq to approx. **23,531** sq ft which is 2,419 sq ft less than what was originally permitted

As Built Site Plan
22,359 sq ft



Parking Compliance Table

ZONING SCHEDULE

LOT ZONING CLASSIFICATION : BUSINESS (BD); AQUIFER PROTECTION ZONE OVERLAY DISTRICT (APZ)			
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	— 44,000 S.F.	150,351 S.F.	150,351 S.F. (EXIST.)
MINIMUM FRONTAGE	— 150 FT.	553.78 FT.	553.78 FT. (EXIST.)
MINIMUM FRONT YARD SETBACK	— 75 FT.	18.8 FT.	81.1 FT.
MINIMUM SIDE YARD SETBACK	— 15 FT.	3.5 FT.	49.3 FT.
MINIMUM REAR YARD SETBACK	— 15 FT.	N/A	N/A
MAXIMUM LOT COVERAGE	— 60% (50%)APZ	68.8%	68.4%
MAXIMUM BUILDING COVERAGE	— 15%	19.8%	15.2%
MAXIMUM BUILDING HEIGHT	— 35 FT. / 3 STORIES	40 FT.	35 FT.
MINIMUM NUMBER OF PARKING SPACES	— 132 SPACES	—	175 SPACES

TOTAL LOT AREA = 150,351 S.F. TOTAL WET AREA = 1,221 S.F.
 PROPOSED BUILDING FOOTPRINT = 22,359 S.F.
 PROPOSED PAVEMENT AREA = 79,139 S.F.
 PROPOSED FLOOR SPACE AREA = 32,664 S.F.

PARKING SCHEDULE

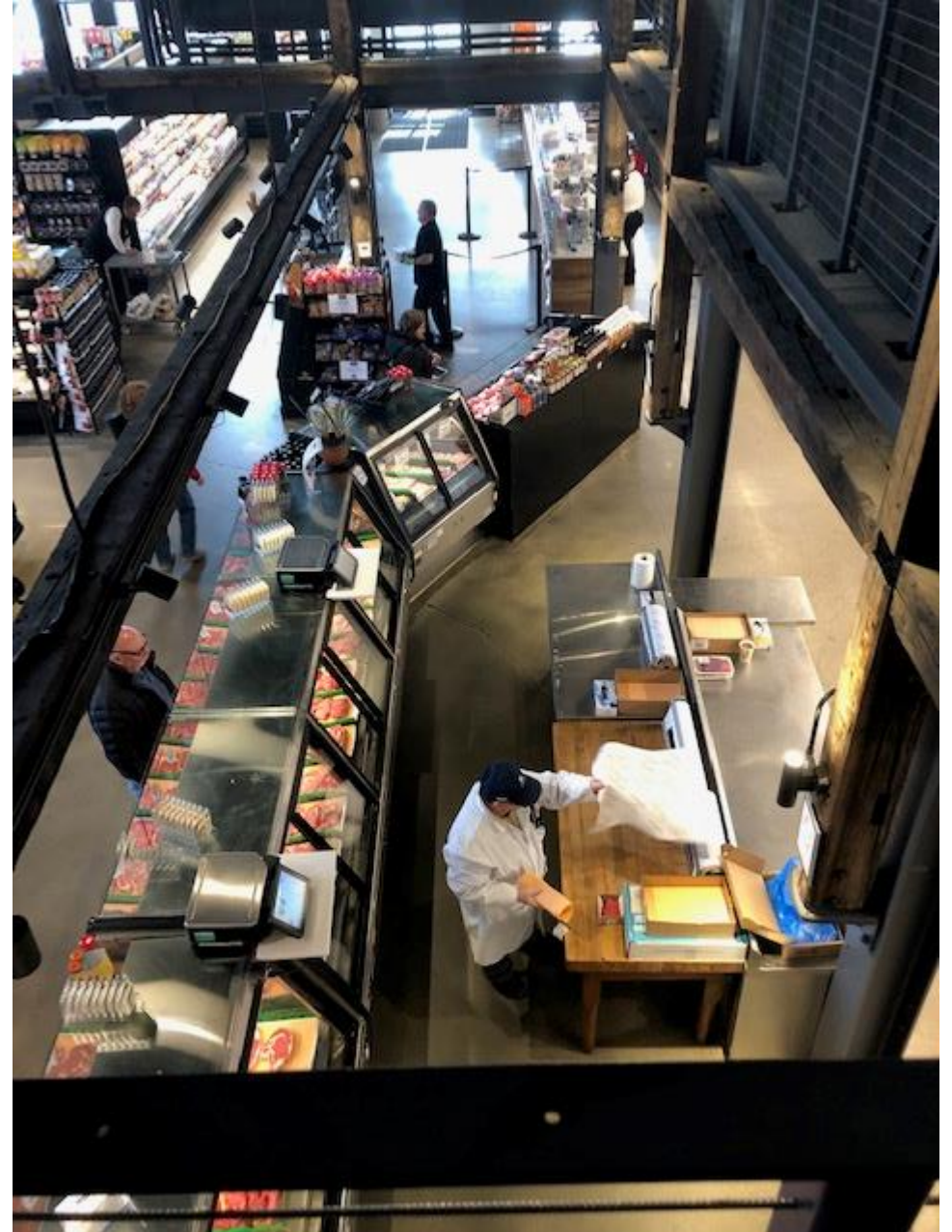
PREVITE'S MARKETPLACE	— 15,867 S.F.	1 SPACE / 200 S.F.	80 SPACES
PREVITE'S RESTAURANT	— 50 SEATS	1 SPACE / 3 SEATS	17 SPACES
LEASE #1	— 1,825 S.F.	1 SPACE / 200 S.F.	10 SPACES
RESTAURANT #2	— 40 SEATS	1 SPACE / 3 SEATS	14 SPACES
LEASE #2	— 2,107 S.F.	1 SPACE / 200 S.F.	11 SPACES
TOTAL REQUIRED	—		132 SPACES
TOTAL PROVIDED	—		175 SPACES
HANDICAP SPACES PROVIDED	—	6 SPACES, (2 VAN SPACES)	

43 Surplus parking spaces

- ❑ We are compliant with both sq ft and parking as the program has developed to date..
- ❑ 30 spaces dedicated to the Sq. Cafe restaurant,(90 seats)
- ❑ Previte's restaurant – up to 133 seats would require 44 parking spaces
- ❑ There are 31 spaces dedicated to restaurant use in the table we need 74 to cover restaurant uses.
- ❑ This leaves a need of 43 new spaces that need to be added to the table. We have 43 surplus spaces from the original configuration so we still are compliant with parking on site.

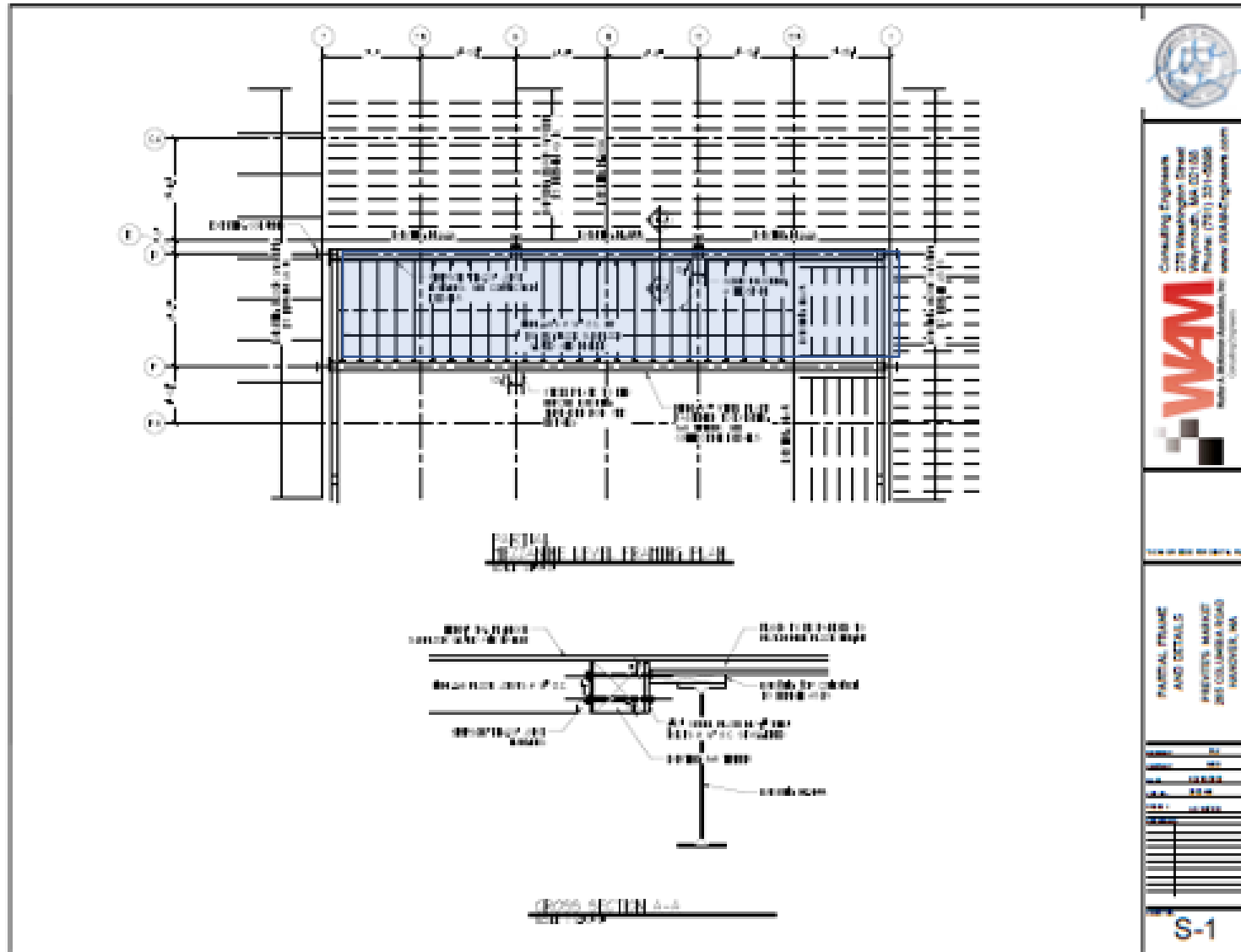


Project No. 1 Infill over meat counter





Project No. 1: Infill Area



The infill is indicated in the blue shaded area, plans have been submitted with the special permit modification request.



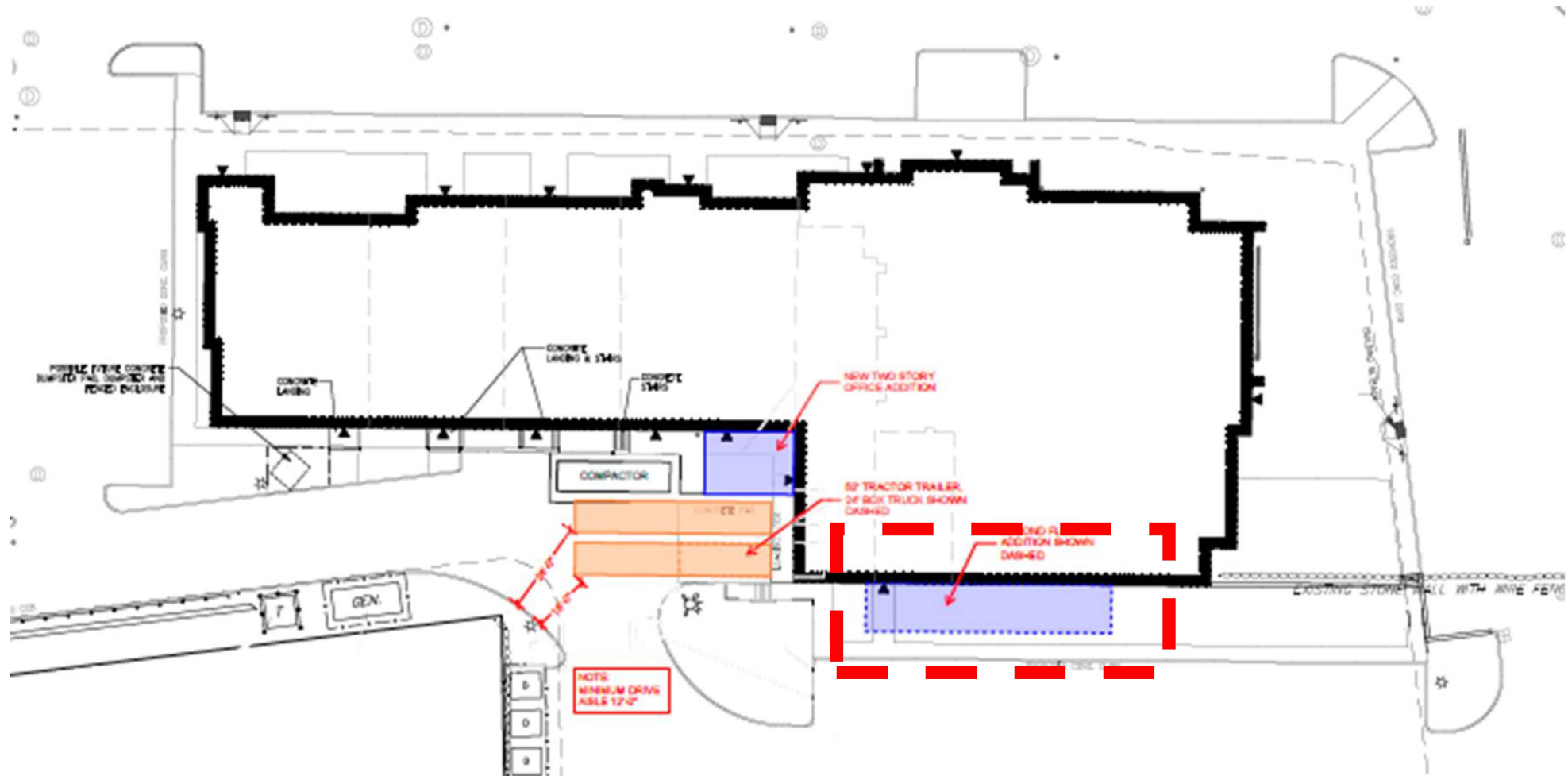
Project No. 2: Second floor cantilever addition in back of building



Existing Conditions

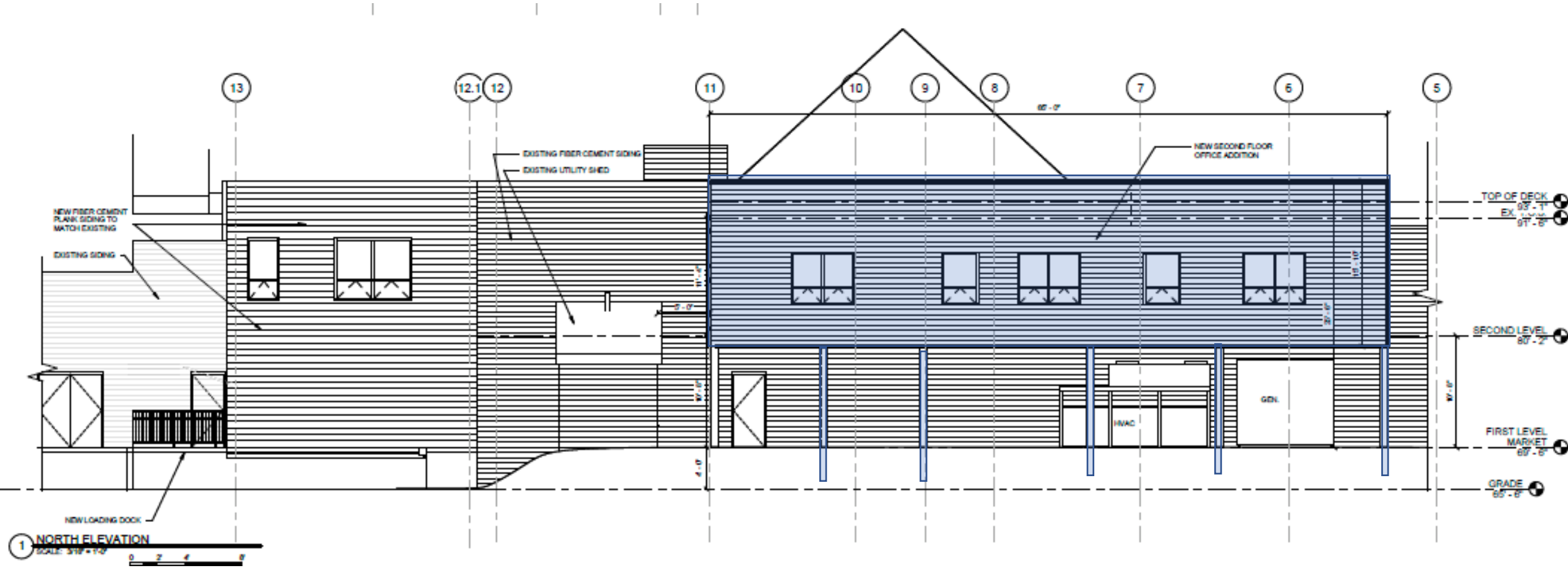


Project No. 2: second floor cantilever addition in back of building





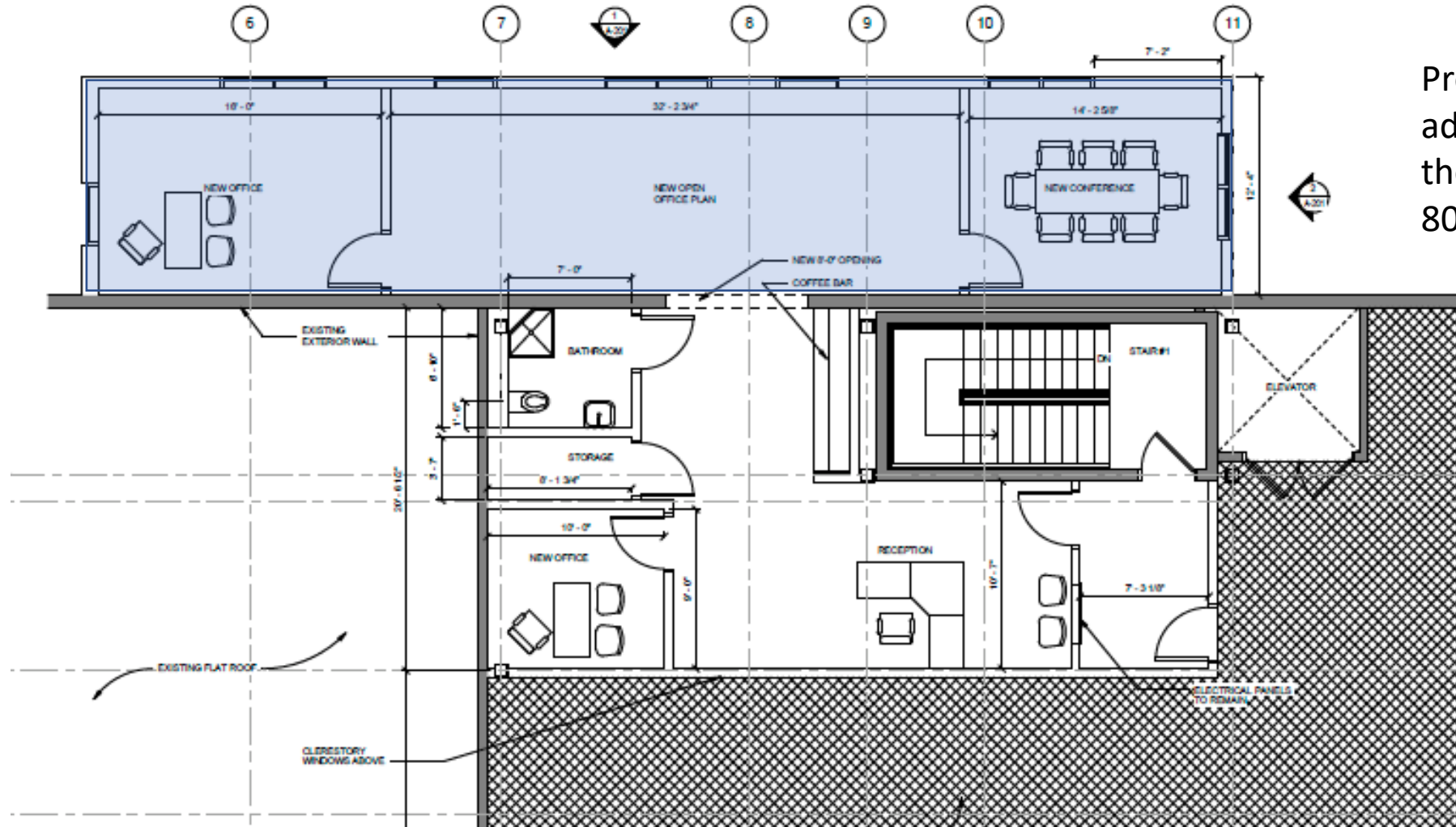
Project No. 2: Second floor cantilever addition in back of building



New Exterior elevation



Project No. 2: Second floor cantilever addition in back of building



Proposed floor space adds in this phase of the project.
800 sq ft

Schematic Office Layout



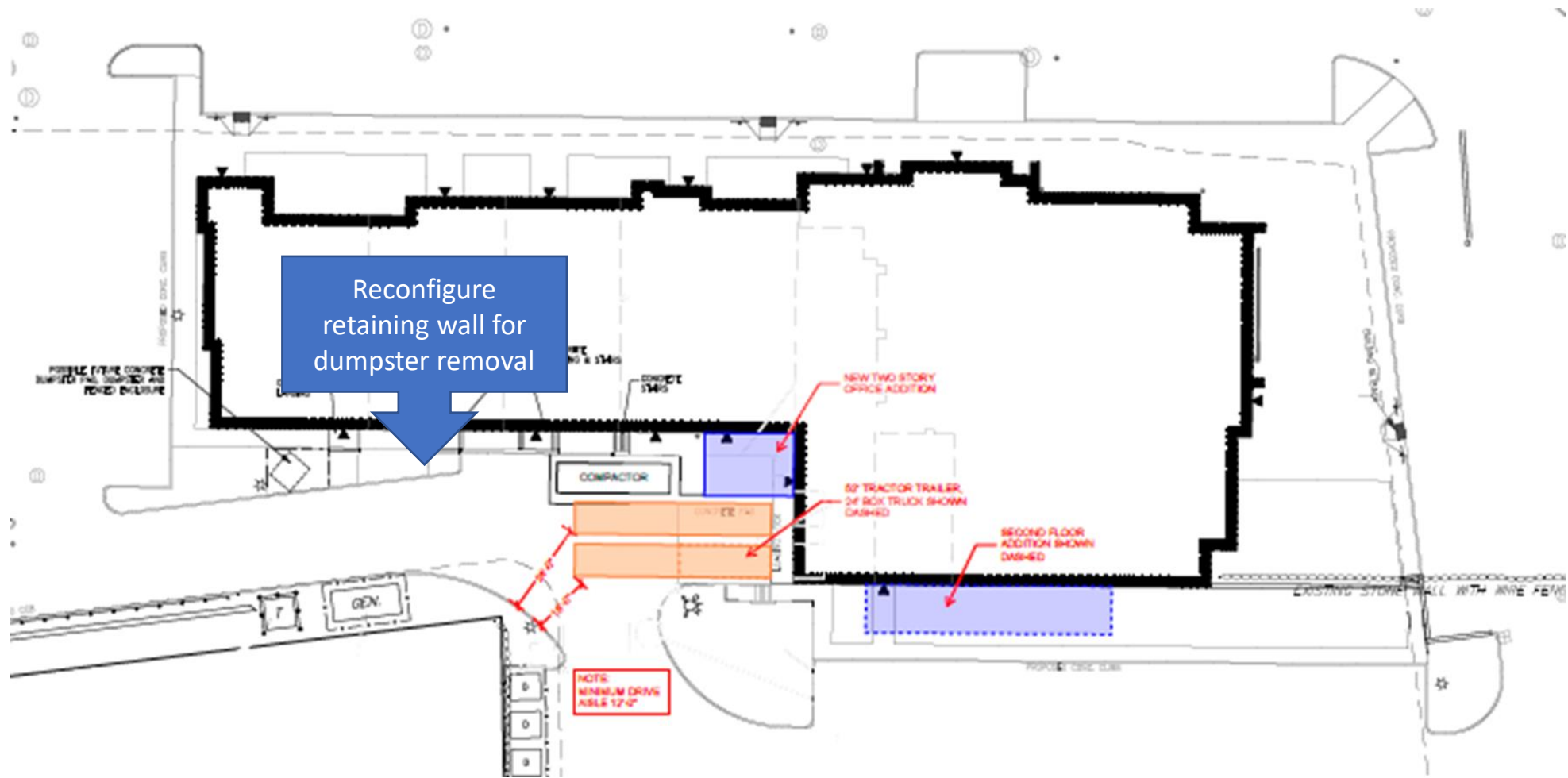
Project No. 3: Addition over a portion of the loading dock area



Existing Conditions



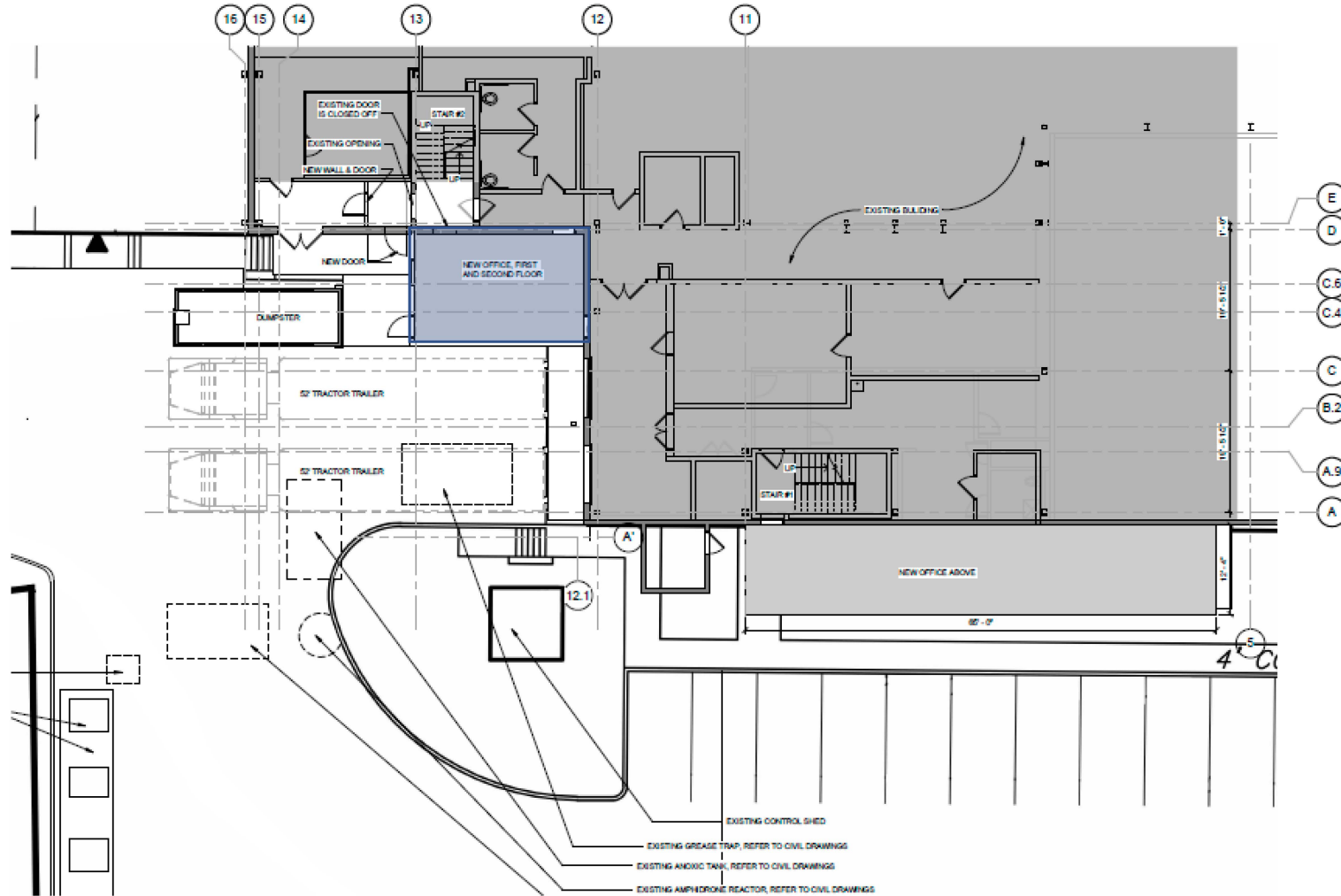
Project No. 3: Addition over a portion of the loading dock area



Truck & emergency vehicles access

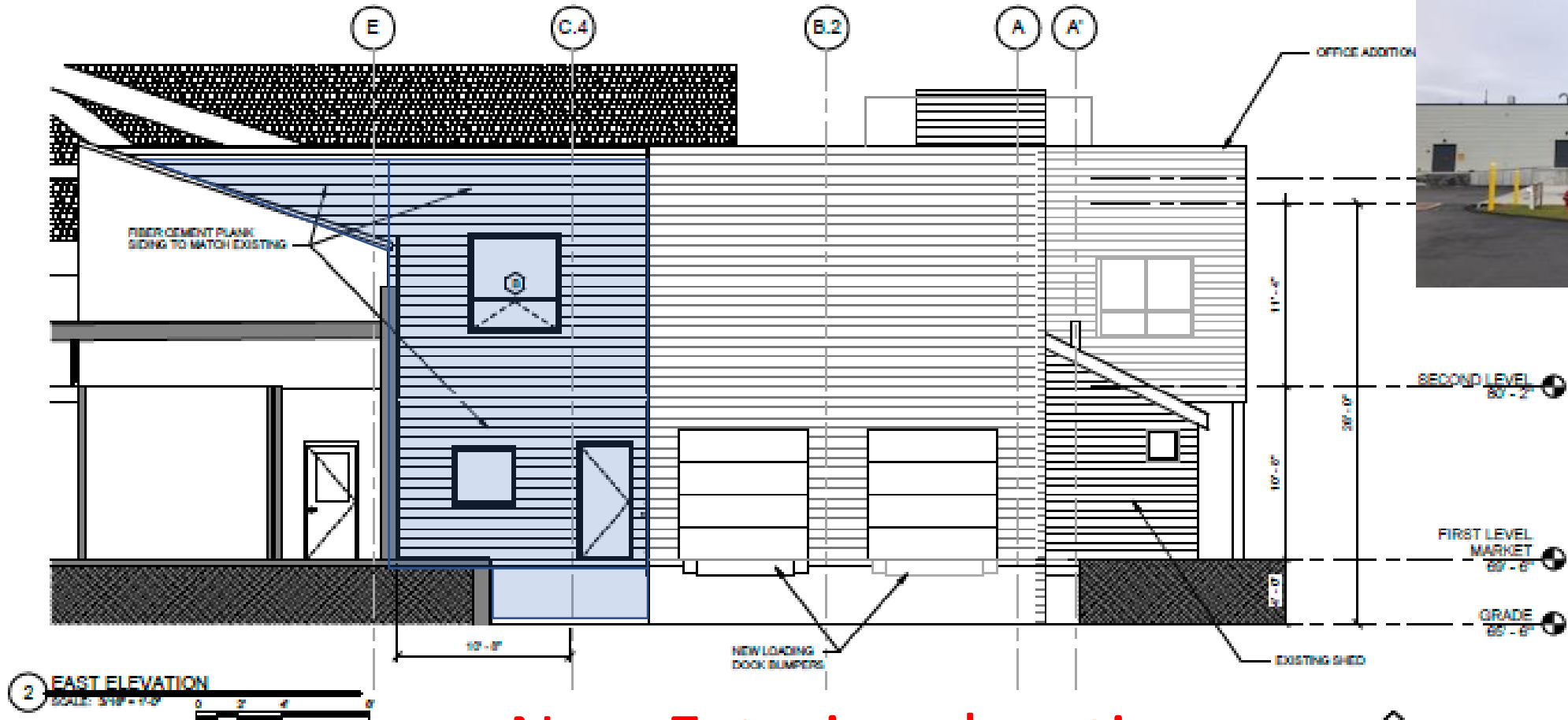


Project No. 3: Addition over a portion of the loading dock area





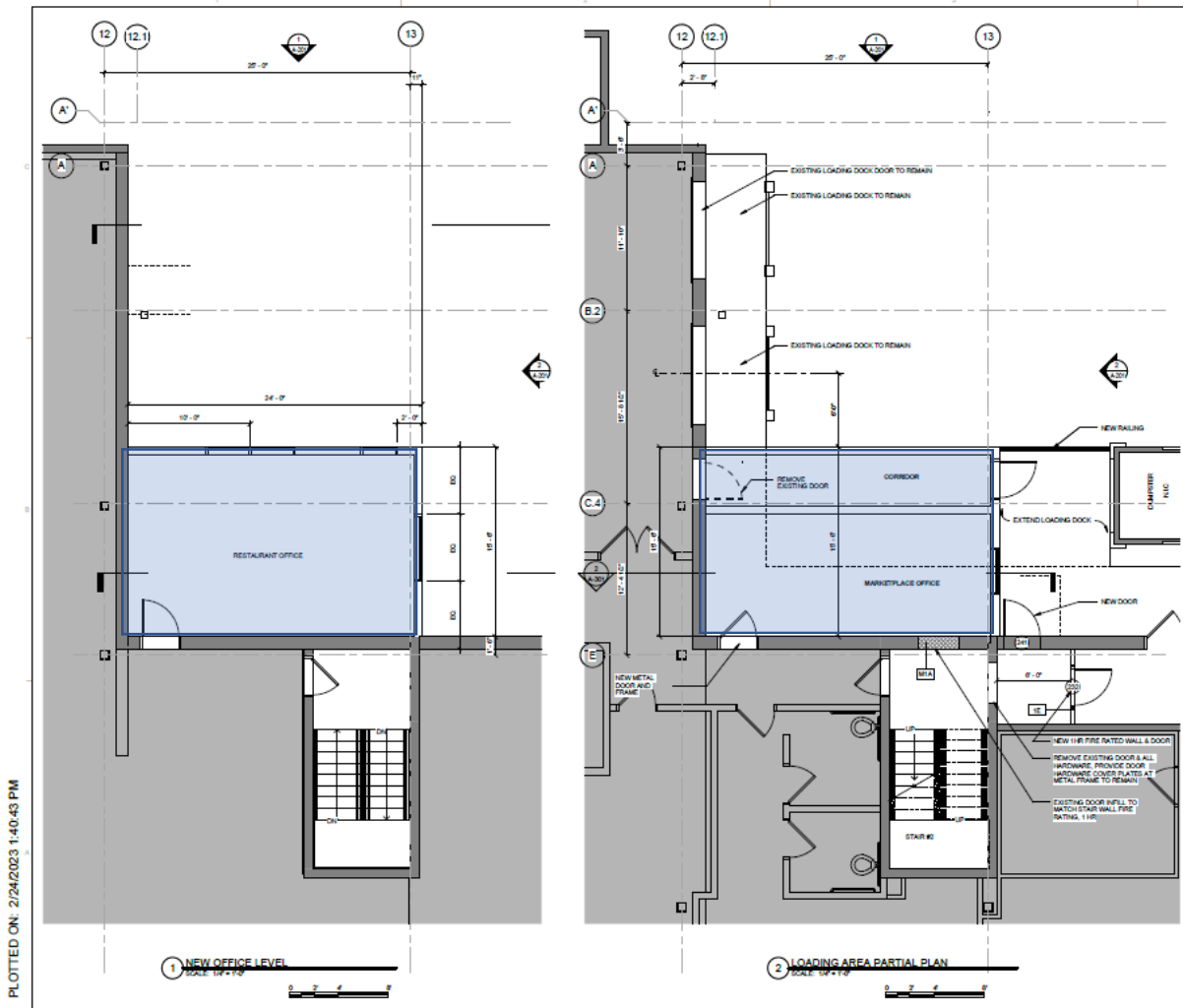
Project No. 3: Addition over a portion of the loading dock area



New Exterior elevation



Project No. 3: Addition over a portion of the loading dock area



Proposed floor space adds
in this phase of the project.

372 sq ft per floor